

Division 1 - General Requirements

- The scope of the work includes labor, materials, equipment, temporary services (including utilities, toilets, space heating, generators, etc.), permits and fees necessary to complete work shown in the drawings. The scope includes the interior upfit of an existing 1 story historic building with mezzanine to a new restaurant.
- These drawings and specifications are instruments of professional service to be used for this project only; they are the property of Morgan Strider Haynes Architect, PLLC and are copywritten as such. They shall not be used for any other project.
- All work shall be done by licensed contractors and shall be performed in accordance with all applicable national, state, and local codes and ordinances.
- The general contractor shall become familiar with the complete contract documents and shall accomplish both an overall and detailed understanding of the project's scope. The owner and architect shall rely on the general contractor for the coordination of all existing conditions, new work, subcontracts, and trades.
- GC to verify existing conditions in the field and review for damage, deterioration, inadequacy, improper installation, or conflicts with new work shown in the drawings. Report conflicts or unsound structural conditions to architect prior to proceeding.
- Notification of discrepancies, errors, or omissions within the contract documents shall be reported to the architect before proceeding with work.
- GC to immediately notify architect of any discrepancies in alignments of siding with windows, doors, or other critical design elements between field layout and construction document elevations. GC to consult with architect prior to proceeding.
- The general contractor and each subcontractor or trade is to verify their portion of the work before beginning, and verify existing conditions as related to the contract documents and their contract. Notification of discrepancies between contract documents and existing conditions shall be reported to the architect before proceeding with work.
- All workmanship in the job shall be first quality. All materials in this job shall be of the best quality in the particular field.
- Before proceeding with any work, the contractor shall provide to the owner a certificate of insurance confirming the contractor's general liability and worker's comprehensive insurance.
- Contractor is responsible for all construction means and methods, and for all aspects of project safety.
- Contractor is responsible for all temporary sheathing and weatherproofing during construction to maintain a secure and waterproof building.
- Dimensions are to exterior face of sheathing at exterior walls and face of stud at interior walls, unless otherwise noted.
- All materials, components, fixtures, and equipment to be installed according to manufacturer's requirements and recommendations.
- Submittals:

- GC to provide submittals and shop drawings with project specific information drawn to scale for Owner and Architects approval. Drawings should include dimensions, profiles, methods of attachments, large-scale details, and other information as appropriate for the work. Also include notation of dimensions established by field measurement.

The following items shall be submitted:

- light fixtures
- doors
- door hardware
- bathroom accessories
- plumbing fixtures
- millwork - wait stations, bar, banquet seating, etc
- flooring

- Provide materials samples for Owner and Architect approval of the following:
 - paint
 - countertops
 - millwork

- PRODUCT SUBSTITUTIONS: all products specifically called for by brand name/manufacturer in the specifications shall be furnished by the GC unless specifications allow an "approved equal." GC shall submit product substitutions to architect for approval in advance of critical path project delays and as early as possible for long lead time items.
- INSPECTIONS: General Contractor shall schedule on site walk-throughs with owner and Architect (at owner's discretion) for inspection at the following times:
 - after building footprint has been staked, before footings have been poured
 - before PME rough-in, after all new framing is complete, prior to any finishes being installed

Division 2 - Existing Conditions

- GC shall have all existing utility lines located prior to work and protected during construction.
- Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Provide all labor, materials, and equipment needed to demolish and remove existing improvements as required for completion of work shown in the drawings.
- Provide shoring and bracing as required during construction to ensure that all existing and new structures are protected from movement, settlement or collapse.
- If any material is discovered during demolition or excavation which is in any way considered to contain asbestos or other hazardous or toxic material, GC shall stop construction immediately and report the condition to the Architect and Owner.

Division 3 - Concrete

- Concrete shall be proportioned, mixed, and placed in accordance with ACI 318 "Building Code Requirements for Reinforced Concrete" and ACI 301 "Specifications for Structural Concrete for Buildings".
- New concrete slab on grade to be f'c = 3,000 psi with 6x6 welded wire fabric —W2.9xW2.9 flat sheets @ mid-depth or fiberglass reinforced mesh @ mid-depth; 15 mil polyethylene vapor barrier over 4" uniformly graded washed stone (#57) base or similar approved open graded aggregate

Division 4 - Masonry

- Repair/ repoint brick/ block as required for any new penetrations in existing masonry walls

Division 5 - Metals

- Structural Steel Framing - see structural drawings

Division 6 - Wood, Plastics, Composites

- See structural drawings for headers, joists and rafters, purlins, and beams.
- Wall studs - SPF 2 x 4 at 16" o.c., as indicated in drawings
- Interior trim to be poplar for painting; match profile at interior doors

Division 7 - Thermal and Moisture Protection

- GC to provide flashing and counterflashing at roof and wall penetrations for watertight installation; seal with elastomeric or butyl sealant; install with laps, joints, and seams permanently watertight and weatherproof.

Division 8 - Openings

- Interior doors to be 1 3/8" thick solid core birch veneer, see door schedule.
- All door hinges to have square corners.
- Door hardware to be selected by Owner. Assume Emtek Stuttgart lever handle sets with square escutcheon plates in brushed stainless steel as basis of design.

Division 9 - Finishes - (confirm all finishes with owner prior to ordering)

- Interior wall finish to be 5/8" gypsum wall board, painted, U.N.Q.
- Acoustical Ceiling Tile: Armstrong Kitchen Zone Lay-in tile w/ Prelude 15/16" suspension system or approved equal
- Flooring:
 - Showroom floor, bar, restrooms, back of house - Signature Flake Epoxy Floor - colorway tbd by owner and architect
 - Kitchen, dish pit - JetRock floor system by JetRock Inc. - colorway tbd by owner and architect
 - Existing mezzanine flooring to remain, reseal with clear water based polyurethane as required
- Confirm all interior finishes, cabinets, countertops, fixtures, and accessories with Owner prior to construction, provide solid wood blocking in walls for all fixtures and accessories.
- Paint/Stain:
 - Interior Walls/ Ceilings: Sherwin Williams interior acrylic latex or approved equal

Division 10 - Specialties

- Toilet Accessories - provide the following
 - Male Accessible Stall
 - wood toilet partition per plan w/ swinging door and locking hardware
 - grab bars per accessibility requirements shown on A-501
 - (1) toilet paper holder
 - Male Urinal
 - wood urinal partition per plan
 - Female Accessible Stall
 - wood toilet partition per plan w/ swinging door and locking hardware
 - grab bars per accessibility requirements shown on A-501
 - (1) toilet paper holder
 - (1) sanitary napkin dispenser/ receptacle
 - Female Stall
 - wood toilet partition per plan w/ swinging door and locking hardware
 - (1) toilet paper holder
 - (1) sanitary napkin dispenser/ receptacle
- Fire Extinguishers - provide per life safety plan

Division 11 - Equipment

- Kitchen Equipment - owner provided, GC to install

Division 12 - Furnishings

- Window Treatments - to be selected by owner, installed by GC
- Casework - Unless otherwise detailed and directed by owner, cabinetry to be custom, plywood construction, with veneer door and drawer faces, veneer interior; with heavy duty full extension undermount soft closing drawer slides and concealed soft closing hinges. Cabinet elevations shown are schematic.
- Countertops to be selected by owner

Division 21 - Fire Suppression

- Sprinklers - existing sprinkler heads to be modified by sprinkler subcontractor as required to provide coverage to reconfigured spaces

Plumbing, Mechanical, & Electrical - General

- Coordinate work with requirements of the building, waste line elevations and connections to utilities. Verify compatibility of trim and fixtures prior to ordering.

Division 22 - Plumbing

- See plumbing drawings.

Division 23 - Mechanical

- See mechanical drawings.

Division 26 - Electrical

- The general contractor and electrical subcontractor shall meet with the architect and owner prior to installing outlet boxes to verify locations and mounting heights of receptacles, outlets, and fixtures.
- In addition to receptacles shown provide new receptacles as required per code.
- Provide devices shown as well as any other items required by code.
- GC is responsible for framing layout to accommodate fixture and equipment locations indicated.
- Contractor is responsible for coordinating with all other trades regarding voltages, loads, circuit breakers, etc., prior to beginning any work.

GENERAL INFO

- G-001 Cover Sheet
- G-002 Appendix B Code Summary
- G-003 Existing Building Code Decision Diagram

LIFE SAFETY

- LS-101 Life Safety Plans

DEMOLITION

- D-101 Demo Plans

ARCHITECTURAL

- A-101 Floor Plans
- A-111 Reflected Ceiling Plans
- A-112 Finish Plan
- A-113 Kitchen Equipment Plans
- A-201 Interior Elevations
- A-202 Interior Elevations
- A-203 Interior Elevations
- A-501 Details and Schedules

STRUCTURAL

- S100 General Structural Notes
- S101 Foundation Plan
- S102 Mezzanine Framing Plan
- S103 Roof Framing Plan
- S200 Structural Details

PLUMBING

- P001 Plumbing Legend, Notes, and Schedules
- P002 Plumbing Details
- P101 Plumbing Waste Plan - 1st Floor
- P103 Plumbing Sanitary and Vent Riser
- P102 Plumbing Waste Plan - 2nd Floor (1)
- P201 Plumbing Domestic Water Plan - 1st Floor
- P203 Plumbing Domestic Water Riser
- P202 Plumbing Domestic Water Plan - 2nd Floor (1)

MECHANICAL

- M001 Mechanical Legend, Notes, and Schedules
- M002 Mechanical Details
- M003 Mechanical Details
- M004 Mechanical Details
- M005 Mechanical Details
- M006 Mechanical Details
- M101 Mechanical Demo Plan - 1st Floor
- M102 Mechanical Demo Plan - 2nd Floor
- M201 Mechanical Plan - 1st Floor
- M202 Mechanical Plan - 2nd Floor

GAS

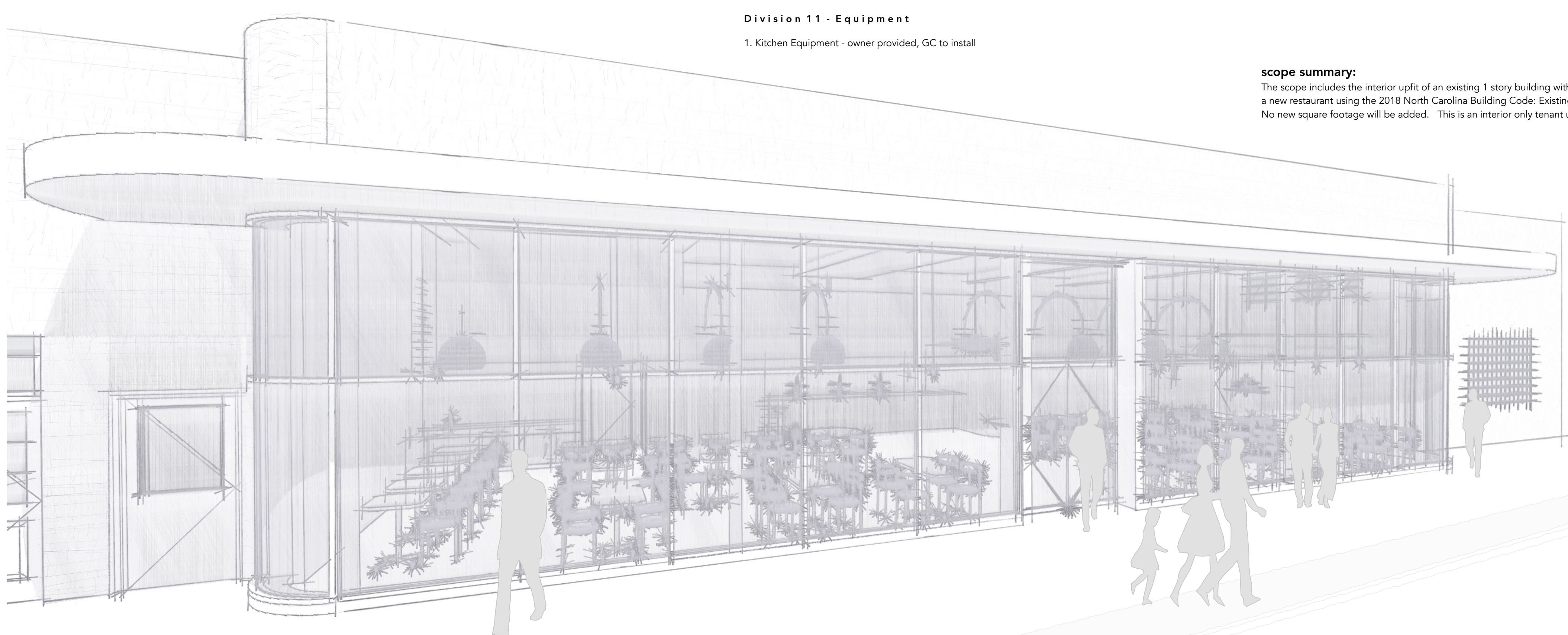
- G101 Gas Plan - 1st Floor
- G102 Gas Plan - 2nd Floor
- G103 Gas Riser

ELECTRICAL

- E001 Electrical Legend, Notes, and Schedule
- E002 Electrical Riser Diagram
- E101 Electrical Lighting Plan - 1st Plan
- E102 Electrical Lighting Plan - 2nd Plan
- E201 Electrical Power Plan - 1st Floor
- E202 Electrical Power Plan - 2nd Floor

FIRE ALARM

- FA101 Fire Alarm Plan - 1st Floor
- FA102 Fire Alarm Plan - 2nd Floor

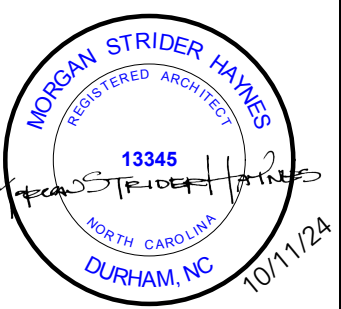


scope summary:

The scope includes the interior upfit of an existing 1 story building with mezzanine into a new restaurant using the 2018 North Carolina Building Code: Existing Building Code. No new square footage will be added. This is an interior only tenant upfit.

Hutchins Showroom

drawn by:



mon(arc) studio
701 W Trinity Ave #117
Durham, NC 27701

for permit 10/11/24
IFC 1/31/25

Hutchins Showroom

a restaurant upfit at:

408 W Geer St
Durham, NC 27701

Cover Sheet

G-001

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Hutchins Showroom
Address: 408 W Geer St, Durham, NC
Owner/Authorized Agent: Mark Hutchins
E-Mail: markhutchins@att.net

CONTACT:

Table with columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL. Lists contact info for Morgan Strider Haynes and various engineering firms.

2018 NC BUILDING CODE: New Building, Addition, Renovation
Time Interior Completion
Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive, Repair, Chapter 14
Alteration: Level I, Level II, Level III
Historic Property, Change of Use

CONSTRUCTED: (date) 1948
CURRENT OCCUPANCY(S) (Ch. 3): mercantile
RENOVATED: (date) 2019
PROPOSED OCCUPANCY(S) (Ch. 3): assembly

RISK CATEGORY (Table 1604.5):
Current: I, II, III, IV
Proposed: I, II, III, IV

BASIC BUILDING DATA

Construction Type: I-A, I-B, II-A, II-B, III-A, III-B, IV, V-A, V-B
Sprinklers: No, Partial, Yes
Standpipes: No, Yes
Fire District: No, Yes
Special Inspections Required: No, Yes

Gross Building Area Table with columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), SUB-TOTAL. Lists area for 3rd Floor, 2nd Floor, Mezzanine, 1st Floor, and Basement.

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly: A-1, A-2, A-3, A-4, A-5
Business, Educational, Factory, Hazardous, Institutional, Mercantile, Residential, Storage

Accessory Occupancy Classification(s):

Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: No, Yes

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building.

Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A / Allowable Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy B <= 1

Table with columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 AREA, (C) AREA FOR FRONTAGE INCREASE, (D) ALLOWABLE AREA PER STORY OR UNLIMITED. Lists area for 1st floor and mezz.

- Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I = 100(F/P - 0.25) x W/30 = (%)

- Unlimited area applicable under conditions of Section 507.
Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
The maximum area of open parking garages must comply with Table 406.5.4.
Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

Table with columns: ALLOWABLE, SHOWS ON PLANS, CODE REFERENCE. Lists building height in feet and stories.

- Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
The maximum height of air traffic control towers must comply with Table 412.3.1.
The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS

Table with columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE, RATIO, RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS. Lists fire protection details for various building elements.

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATION

Table with columns: FIRE SEPARATION DISTANCE, DEGREE OF OPENING PROTECTION, ALLOWABLE PERCENTAGE OF OPENING, ACTUAL PERCENTAGE OF OPENING. Lists wall opening calculations.

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No, Yes
Exit Signs: No, Yes
Fire Alarm: No, Yes
Smoke Detection Systems: No, Yes, Partial
Carbon Monoxide Detection: No, Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS-101
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
Exit sign locations (1013)
Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.8)
Actual occupant load for each exit door
Location of doors with panic hardware (1010.1.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1039)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS

Table with columns: UNIT CLASSIFICATION, TOTAL UNITS, ACCESSIBLE UNITS, TYPE A UNITS, TYPE B UNITS, TOTAL ACCESSIBLE UNITS. Lists accessible dwelling units.

ACCESSIBLE PARKING

Table with columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES, # OF ACCESSIBLE SPACES PROVIDED. Lists accessible parking spaces.

PLUMBING FIXTURE REQUIREMENTS

Table with columns: USE, WATER CLOSETS, URINALS, LAVATORY/REIN, SINKS/TUBS, SHOWER, DRINKING FOUNTAINS. Lists plumbing fixture requirements.

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY SUMMARY

ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet.

Existing building envelope complies with code: No, Yes
Exempt Building: No, Yes

Climate Zone: 3A, 4A, 5A

Method of Compliance: Energy Code, Performance, ASHRAE 90.1, Prescriptive

THERMAL ENVELOPE

Roof/Ceiling Assembly (each assembly): Description of assembly, U-Value, R-Value, Skylights, etc.

Interior Wall (each assembly): Description of assembly, U-Value, R-Value, etc.

Walls below grade (each assembly): Description of assembly, U-Value, R-Value, etc.

Floors over unconditioned space (each assembly): Description of assembly, U-Value, R-Value, etc.

Floors slab on grade: Description of assembly, U-Value, R-Value, etc.

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow, Seismic
Live Loads: Roof, Mezzanine, Floor

Ground Snow Load:
Wind Load: Ultimate Wind Speed, Exposure Category

SEISMIC DESIGN CATEGORY:

Provide the following seismic Design Parameters: Risk Category, Spectral Response Acceleration, Site Classification, Basic structural system, Analysis Procedure, Architectural, Mechanical, Components anchored?

LATERAL DESIGN CONTROL:

Earthquake, Wind

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report), Presumptive Bearing capacity, Pile size, type, and capacity

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

Thermal Zone: winter dry bulb, summer dry bulb
Interior design conditions: winter dry bulb, summer dry bulb, relative humidity
Building heating load, Building cooling load

Mechanical Spacing Conditioning System

Unitary: description of unit, heating efficiency, cooling efficiency, size category
Boiler: Size category, If oversized, state reason
Chiller: Size category, If oversized, state reason
List equipment efficiencies

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN

(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

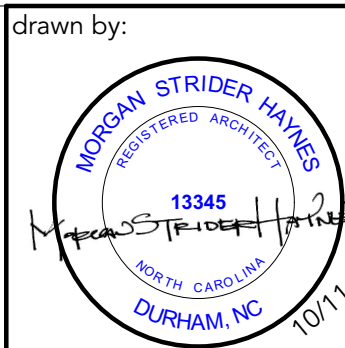
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code, Performance, ASHRAE 90.1, Prescriptive

Lighting schedule (each fixture type): lamp type, wattage, number of lamps in fixture, ballast type in fixture, ballast wattage per fixture, total interior wattage specified vs. allowed (whole building or space by space), total exterior wattage specified vs. allowed

Additional Efficiency Package Options

- (When using the 2018 NCECC; not required for ASHRAE 90.1)
C406.2 More Efficient HVAC Equipment Performance
C406.3 Reduced Lighting Power Density
C406.4 Enhanced Digital Lighting Controls
C406.5 On-Site Renewable Energy
C406.6 Dedicated Outdoor Air System
C406.7 Reduced Energy Use in Service Water Heating



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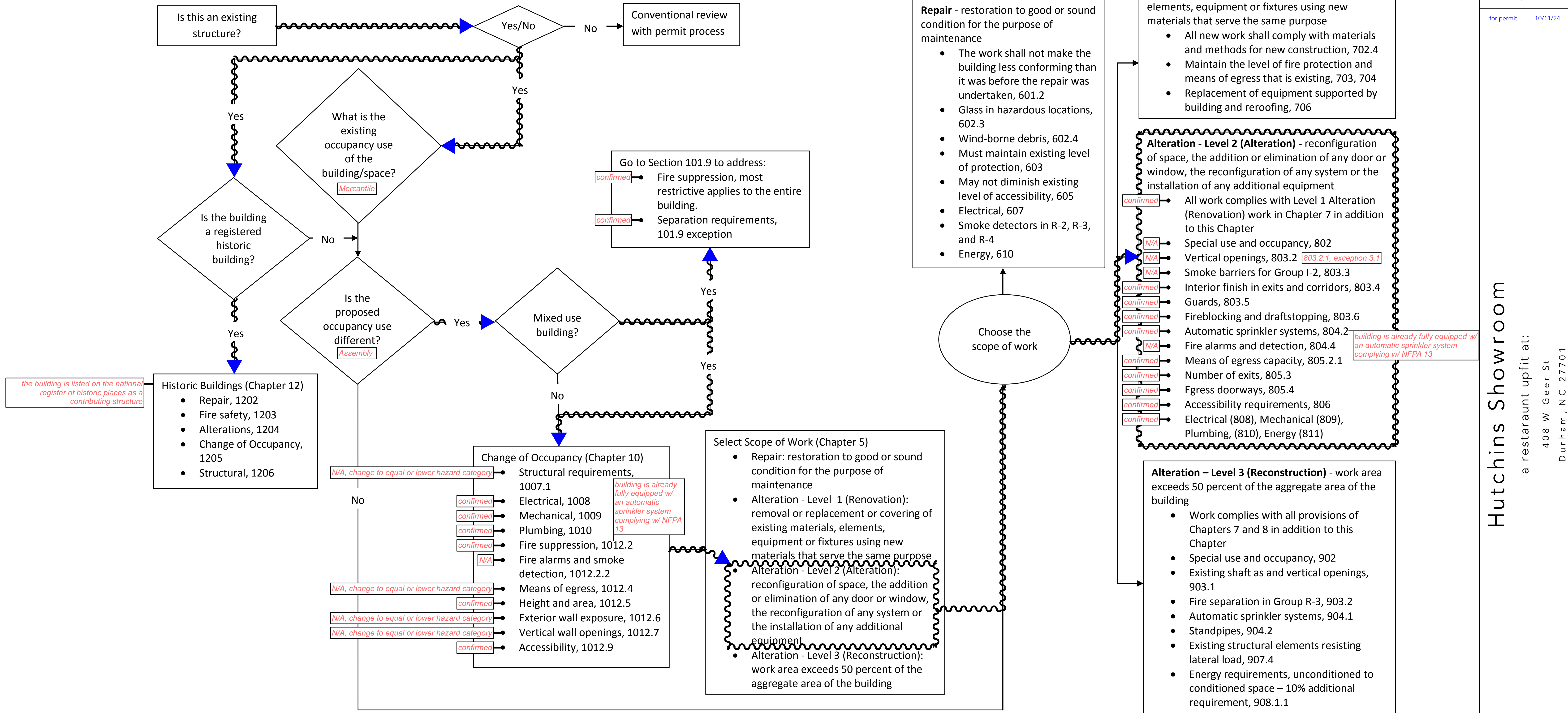
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Hutchins Showroom
a restaurant upfit at:
408 W Geer St
Durham, NC 27701

Appendix B
Code Summary

G-002

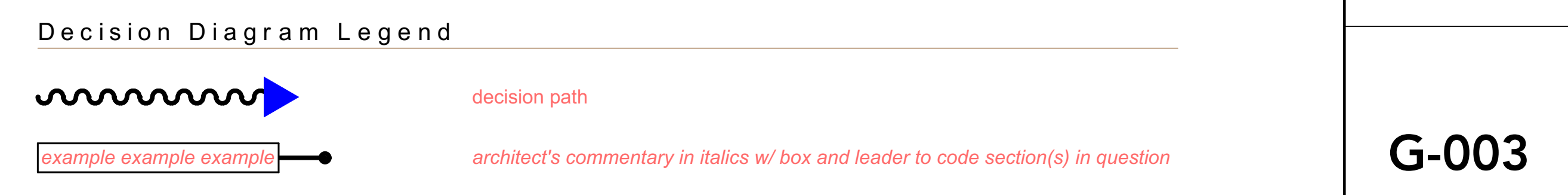
NC Existing Building Code Decision Diagram (Work Area Compliance Method)



Hutchins Showroom
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 Durham, NC 27701

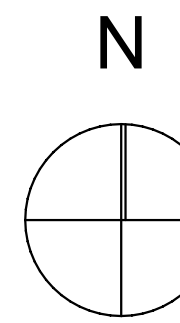
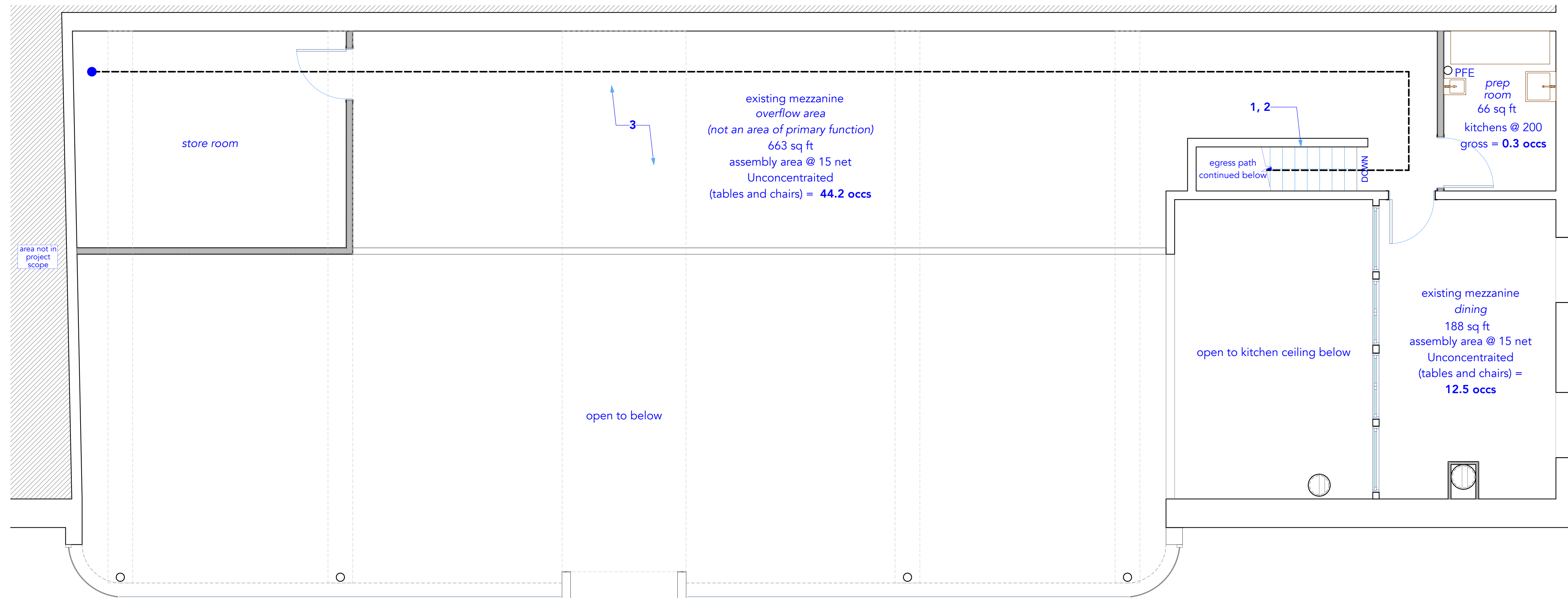
Existing Building Code Decision Diagram

G-003



Key Notes

- 1 - existing stair: not required to be 1HR rated per NCSBC:EBC 805.2.1 exception 3.1
- 2 - required means of egress improvements defined in NCSBC:EBC 805 do not apply to the existing stair at this single tenant suite per 805.1
- 3 - per NCSBC:EBC 805.3.2, 2 means of egress are not required from a mezzanine in a work space where the travel distance is less than 100' and the space is protected with an automatic sprinkler system
- 4 - exits meet separation requirement from NCSBC:BC 1007.1.1 exception 2
- 5 - common path of egress travel per NCSBC:BC 1029.8 - 30' from most remote seat to point of egress choice

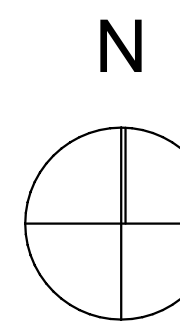
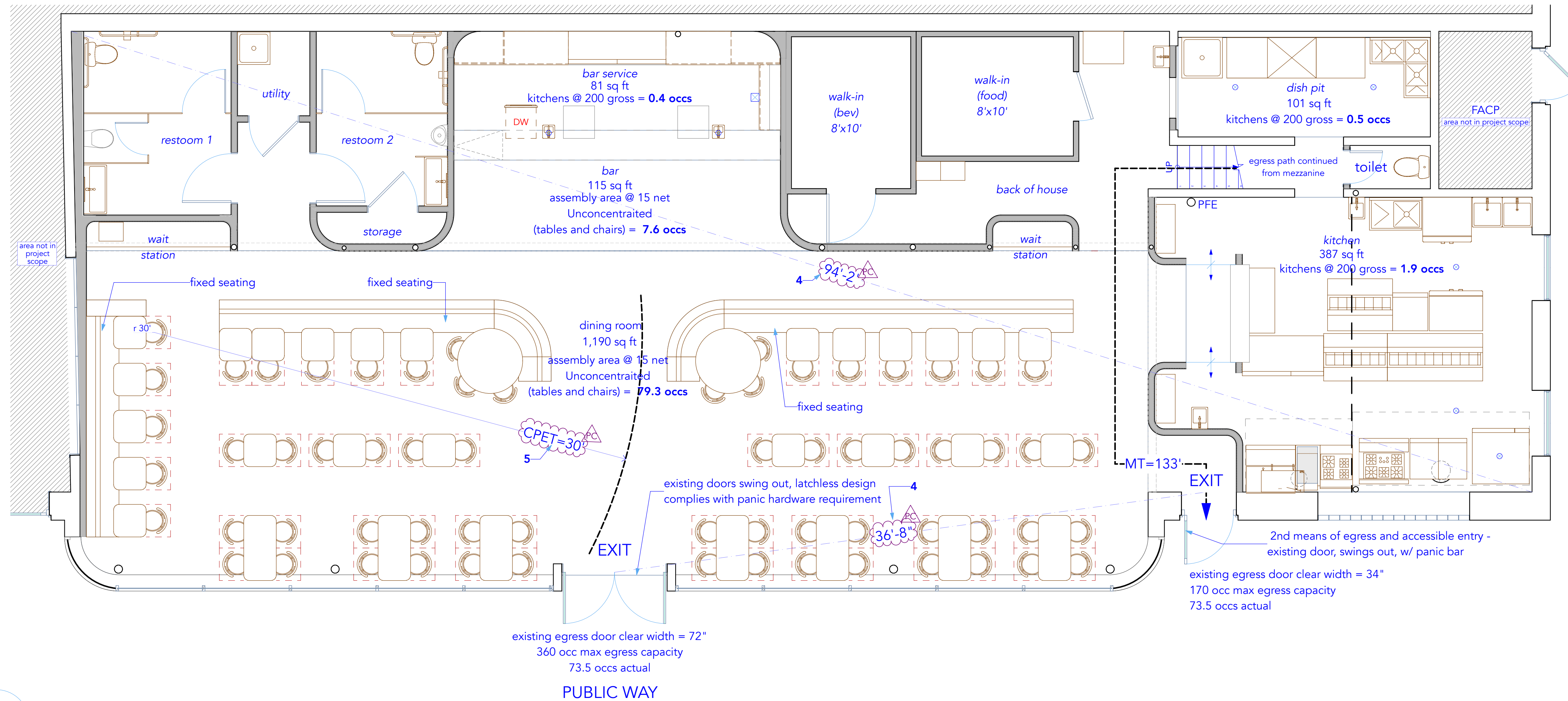


2 MEZZANINE LIFE SAFETY PLAN
LS-101 SCALE: 1/4" = 1'-0"

57 MEZZ. OCCUPANTS

Life Safety Plan Legend

- indicates existing wall
- indicates new partition
- MT maximum travel
- EXIT illuminated exit sign
- egress path
- portable fire extinguisher - wall mounted



1 1st FLOOR LIFE SAFETY PLAN
LS-101 SCALE: 1/4" = 1'-0"

90 1st FLOOR OCCUPANTS
147 TOTAL OCCUPANTS



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for permit 10/11/24
permit comments 11/28/24

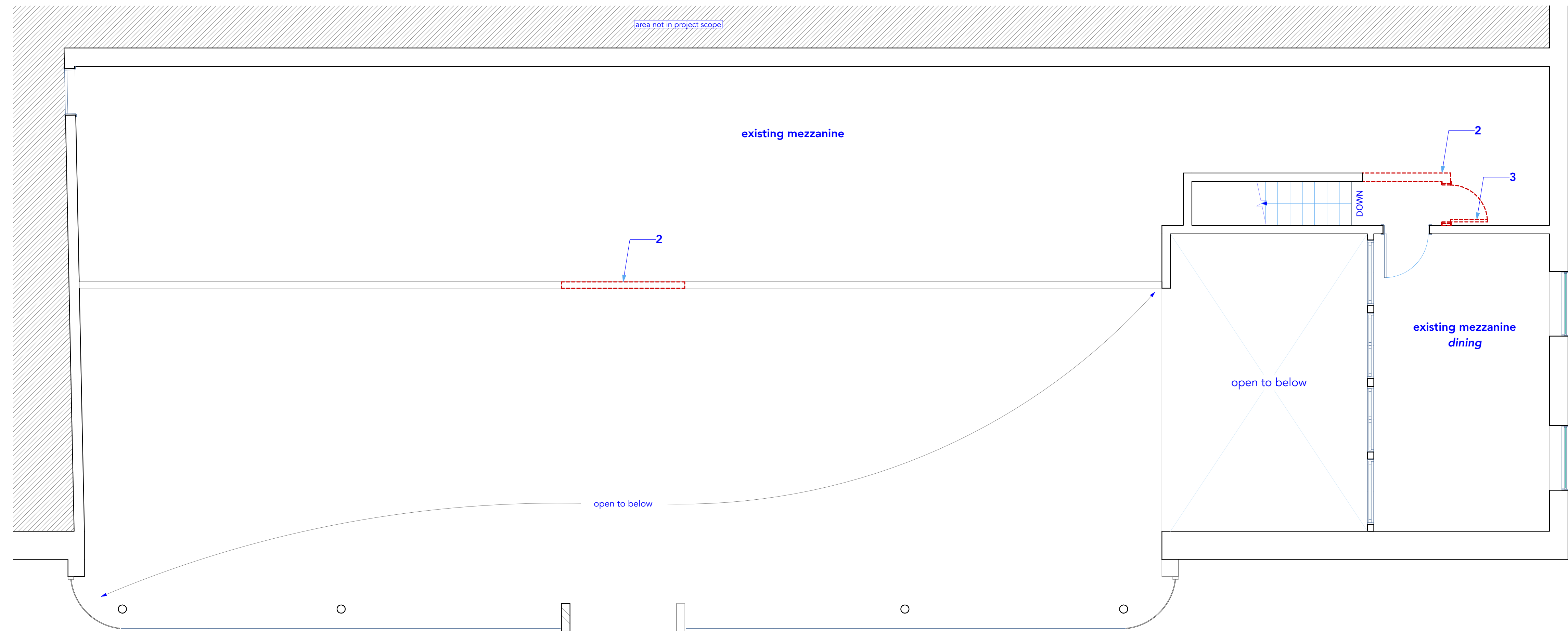
Hutchins Showroom

a restaurant upfit at:

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Life Safety
Plans

LS-101



2 MEZZANINE DEMO PLAN
 D-101 SCALE: 1/4" = 1'-0"

General Notes

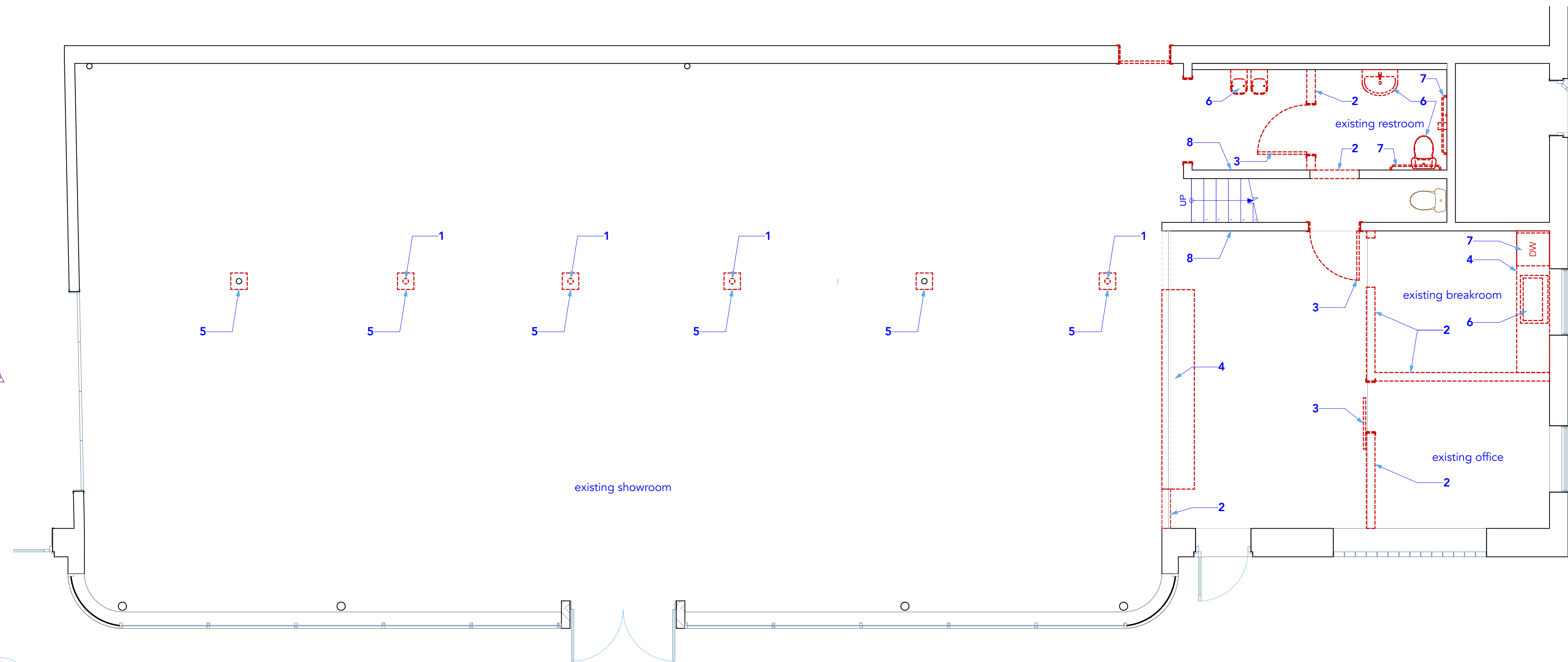
- see specifications for best demolition practices
- see mechanical demo plan for ductwork to be removed

Key Notes

- 1 - existing steel column to be removed
- 2 - existing partition to be removed
- 3 - existing door and frame to be removed
- 4 - existing millwork to be removed
- 5 - existing column base to be removed
- 6 - existing plumbing fixture to be removed
- 7 - existing equipment to be removed
- 8 - existing baseboard and shoe mould to be removed throughout

Demo Legend

- indicates item to be removed (dashed portion only)
- ===== indicates item to remain
- - - - - indicates existing roof line above to remain



1 1st FLOOR DEMO PLAN
 D-101 SCALE: 1/4" = 1'-0"

Wall Types

- A** 4" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb each side, acoustical batt insulation where graphically indicated
- B** 3 1/2" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb each side, acoustical batt insulation where graphically indicated
- C** 3 1/2" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb on side with wall type tag
- D** 1 5/8" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb one side
- E** new FRP on new 1/4" Durock or approved equal cement backer board on existing wall to 7' AFF
- F** 3 1/2" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb one side and FRP on 1/2" Durock or approved equal cement backer board on kitchen side to 7' AFF
- G** 3 1/2" 18 gauge metal studs at 16" o.c. w/ 5/8" gwb + stainless steel paneling on kitchen side with 1/2" birch plywood, painted white on window side
- H** new stainless steel paneling on existing wall to 7' AFF

General Notes

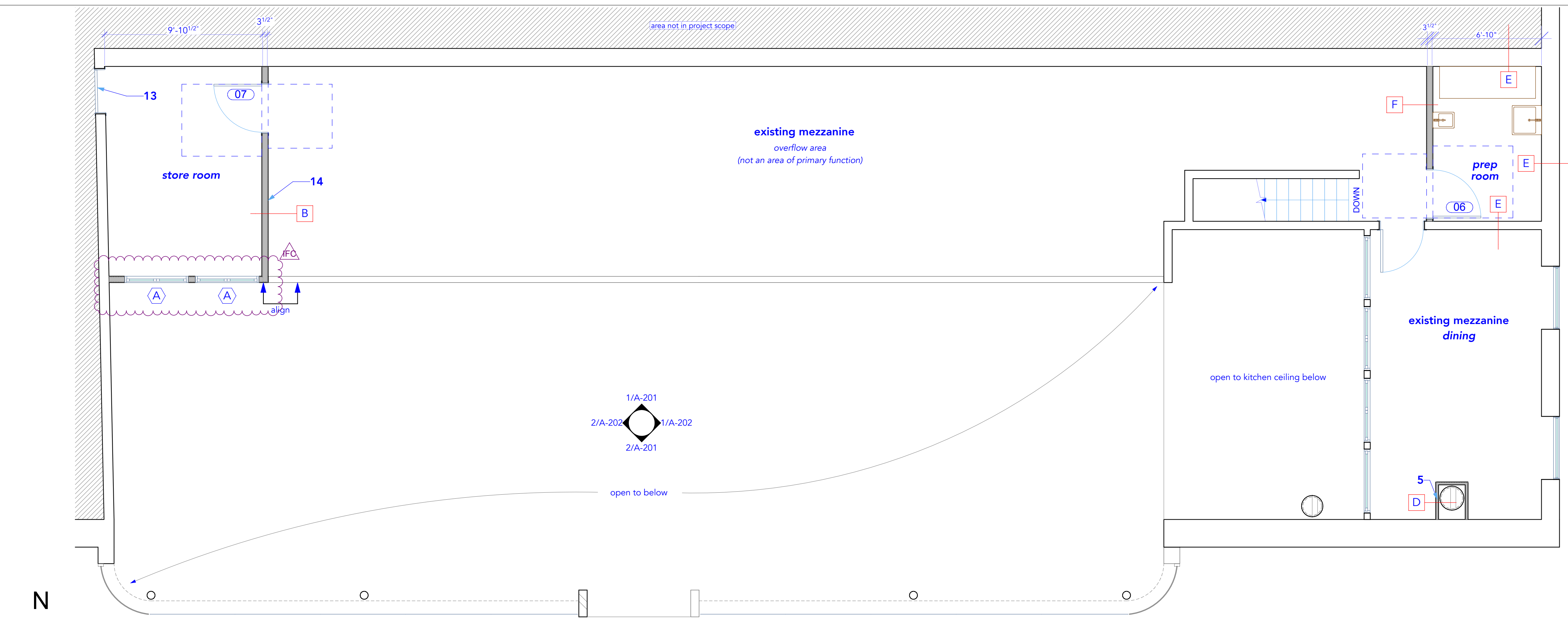
-all dimensions are to face of framing unless noted as "FIN" - dimension to existing face of finish - door schedule on sheet A-501

Key Notes

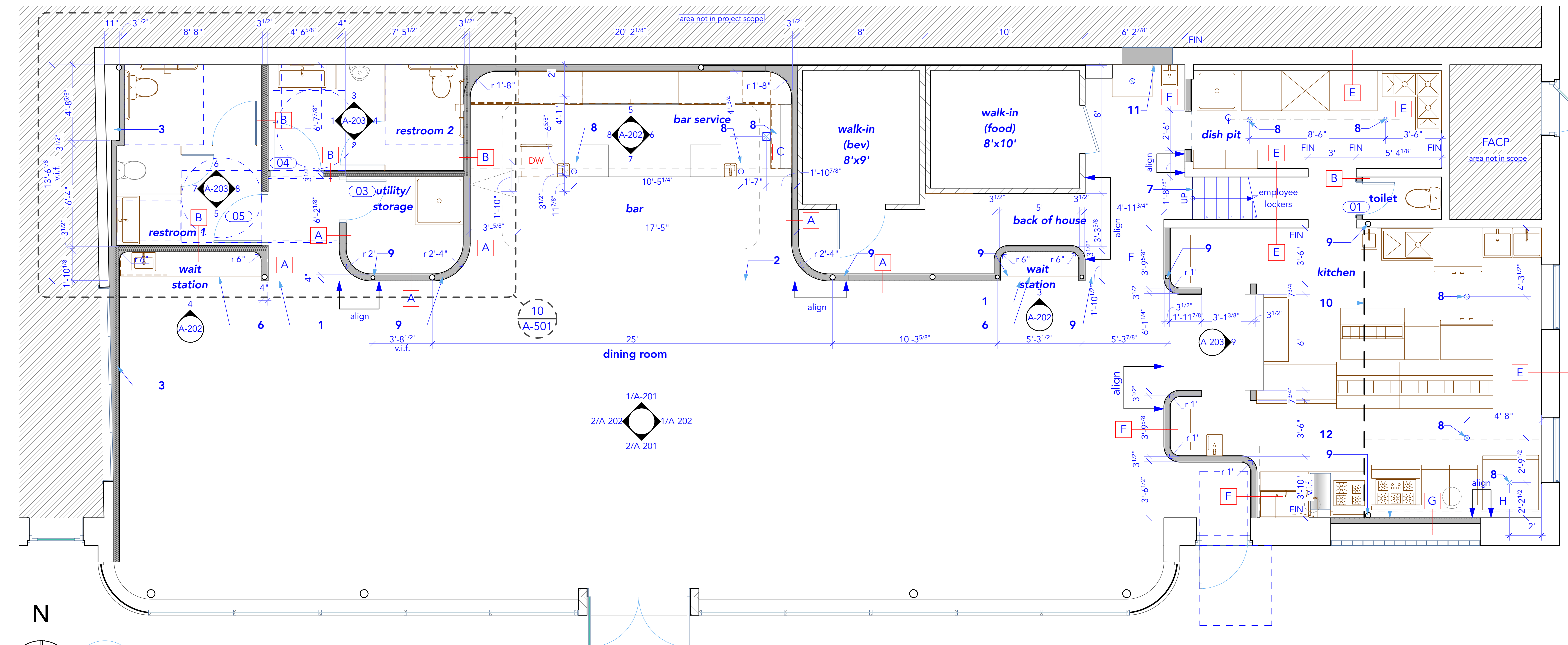
- 1 - existing gwb header (above) to remain, align finish face of new walls to finish face of header
- 2 - new gwb header wrapping new beam, see struct.
- 3 - new full height 2x wood stud wall @ 16" o.c. (taper to accommodate angled wall), acoustic batt insulation in stud cavities, QuietRock® ES Type X on 1 side
- 4 - new flaked epoxy floor coating throughout 1st floor
- 5 - new fur out around hood exhaust duct, 2x2 wood studs @ 16" o.c., 5/8" gwb one side, 1" gap from framing to duct
- 6 - new custom millwork- countertop 34" A.F.F.
- 7 - existing stair to mezzanine to remain
- 8 - new floor drain, see plumbing drawings
- 9 - new steel column, see structural
- 10 - line of new steel beam above, see structural
- 11 - existing doorway to be filled in - match existing brick, paint
- 12 - wood studs to fill existing window opening
- 13 - acoustic batt insulation in door cavity, QuietRock® ES Type X on 1 side, framing as required to fill door opening
- 14 - wall to line up with restroom wall below
- 15 - existing restroom wall finish to receive new paint

Plan Legend

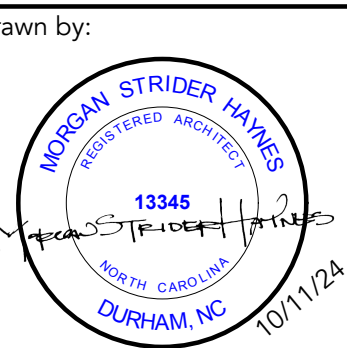
- indicates existing wall
- indicates new partition - see wall types
- room indicates existing element
- room indicates new element
- indicates accessibility clearances - clear floor space, turning radius, and maneuvering clearances at manual swinging doors, see G-004
- align align finished faces of adjacent walls



2 MEZZANINE FLOOR PLAN
A-101 SCALE: 1/4" = 1'-0"



1 1st FLOOR PLAN
A-101 SCALE: 1/4" = 1'-0"



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IFC 1/31/25

Hutchins Showroom

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Floor Plans

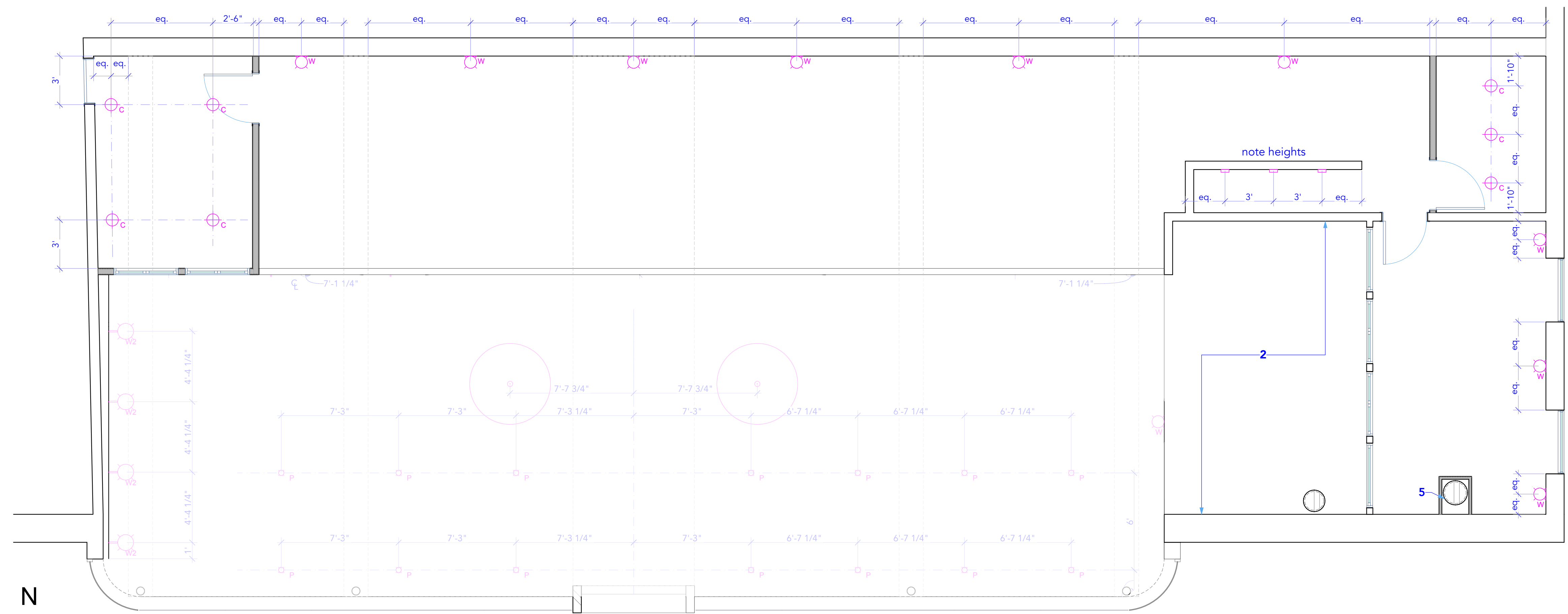
A-101

General Notes

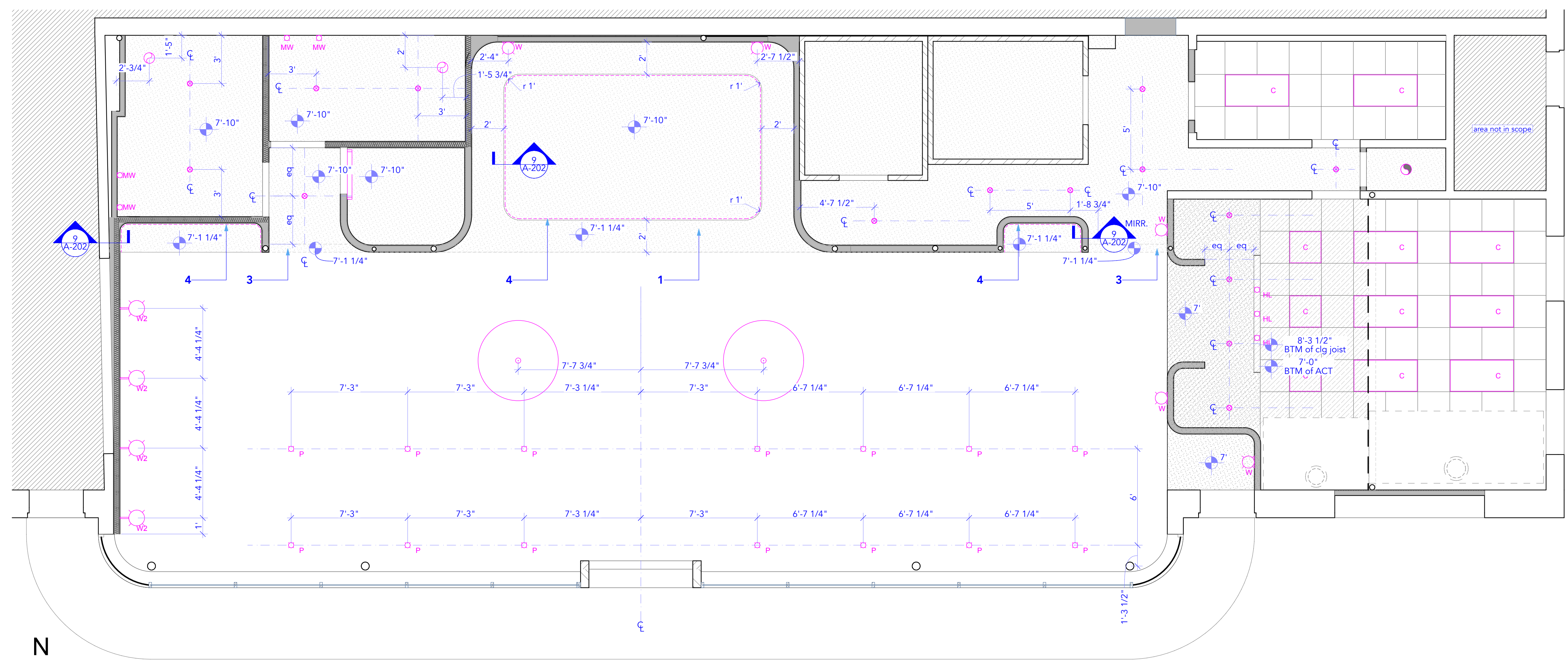
- dimensions to new walls are to face of framing
- dimensions to existing walls are to finished face of wall
- see electrical plan for fixture types/ information
- see interior elevations for light fixture mounting heights

Key Notes

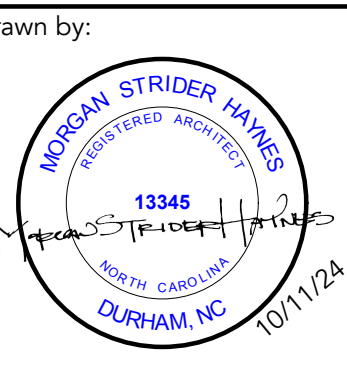
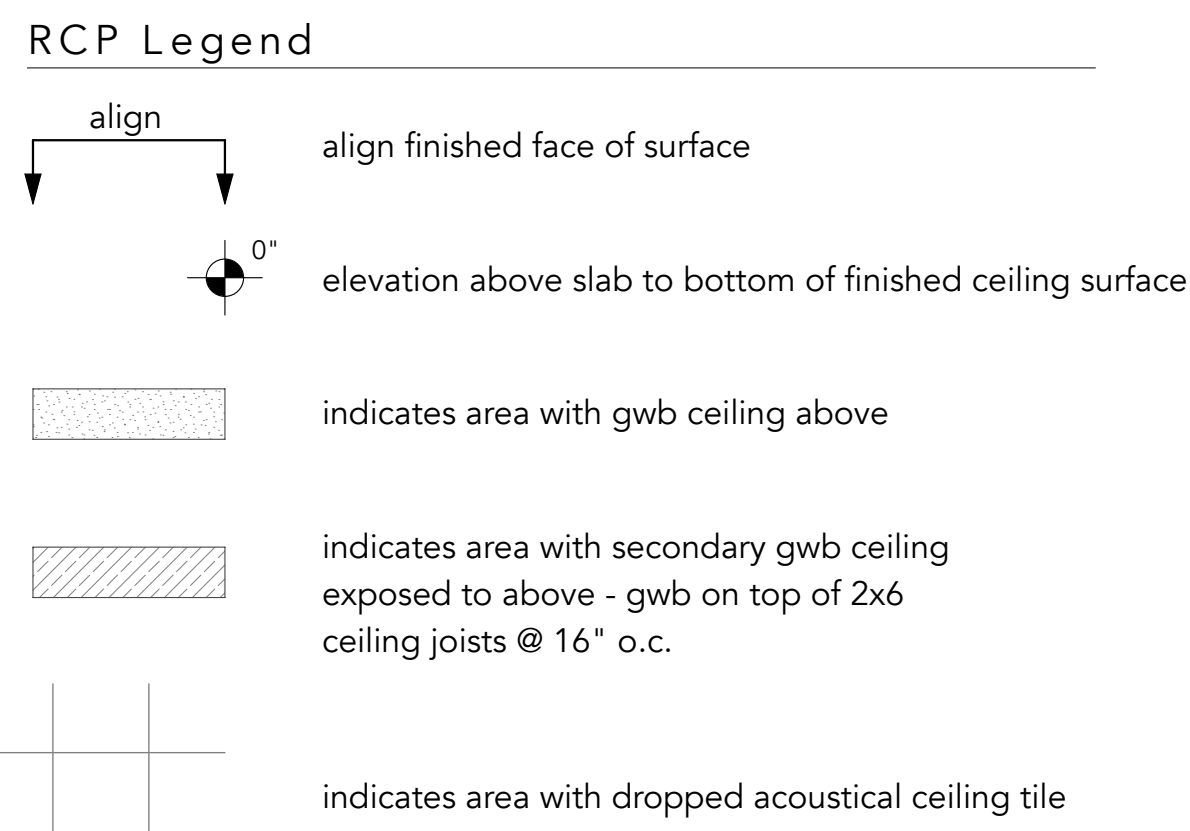
- 1 - new gwb tray ceiling
- 2 - new gwb ceiling - finish gwb from above
- 3 - dropped beam here, gwb finish
- 4 - LED cove light



2 MEZZANINE PLACTED CEILING PLAN
A-111 SCALE: 1/4" = 1'-0"



1 1st FLOOR REFLECTED CEILING PLAN
A-111 SCALE: 1/4" = 1'-0"



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Reflected Ceiling Plans

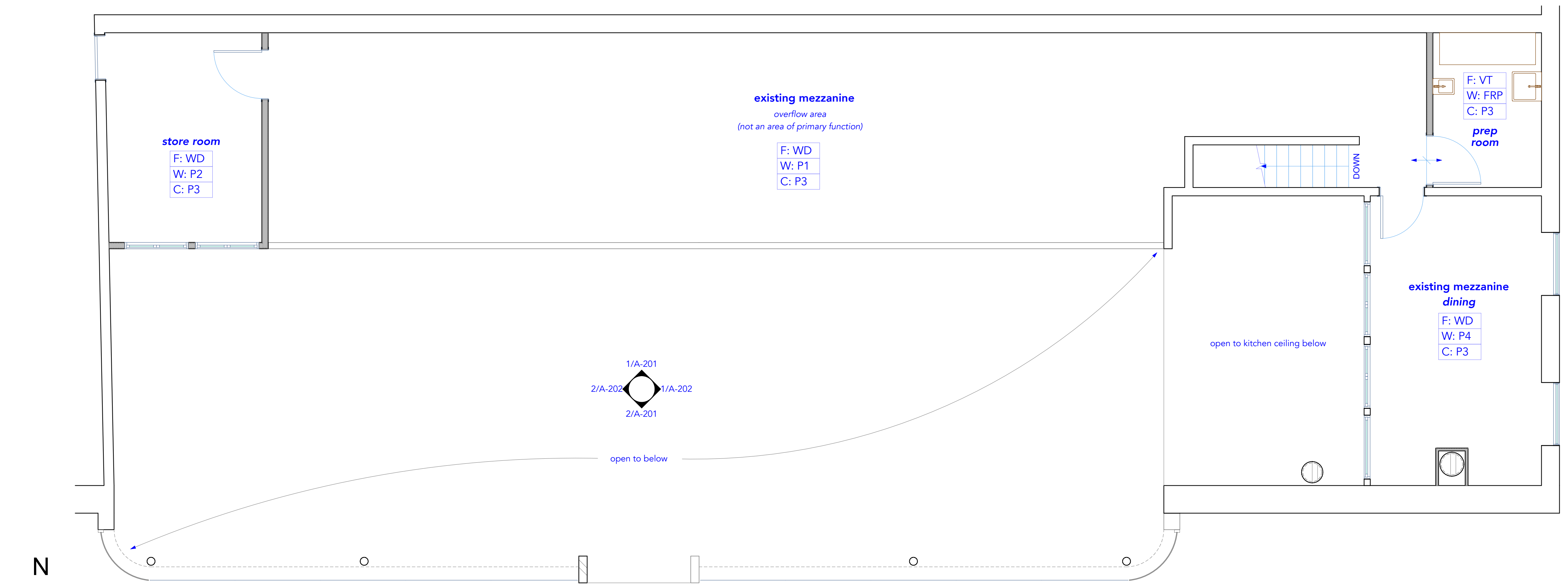
A-111

General Notes

- see general notes and specifications located on sheet G-001 for more specific information regarding finishes
- all new walls with painted gwb finish on first floor to receive new flush reveal base by Fry Reglet (DRMBFLR62550400)
- all new walls on mezzanine to receive standard wood base board to match existing, painted

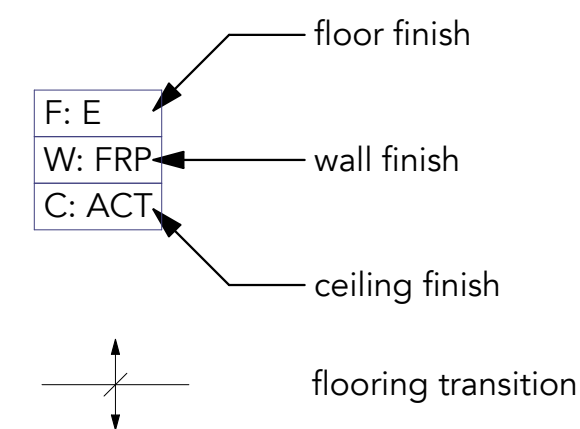
Key Notes

- 1 - new gwb tray ceiling
- 2 - new gwb ceiling - finish gwb from above
- 3 - dropped beam here, gwb finish
- 4 - LED cove light

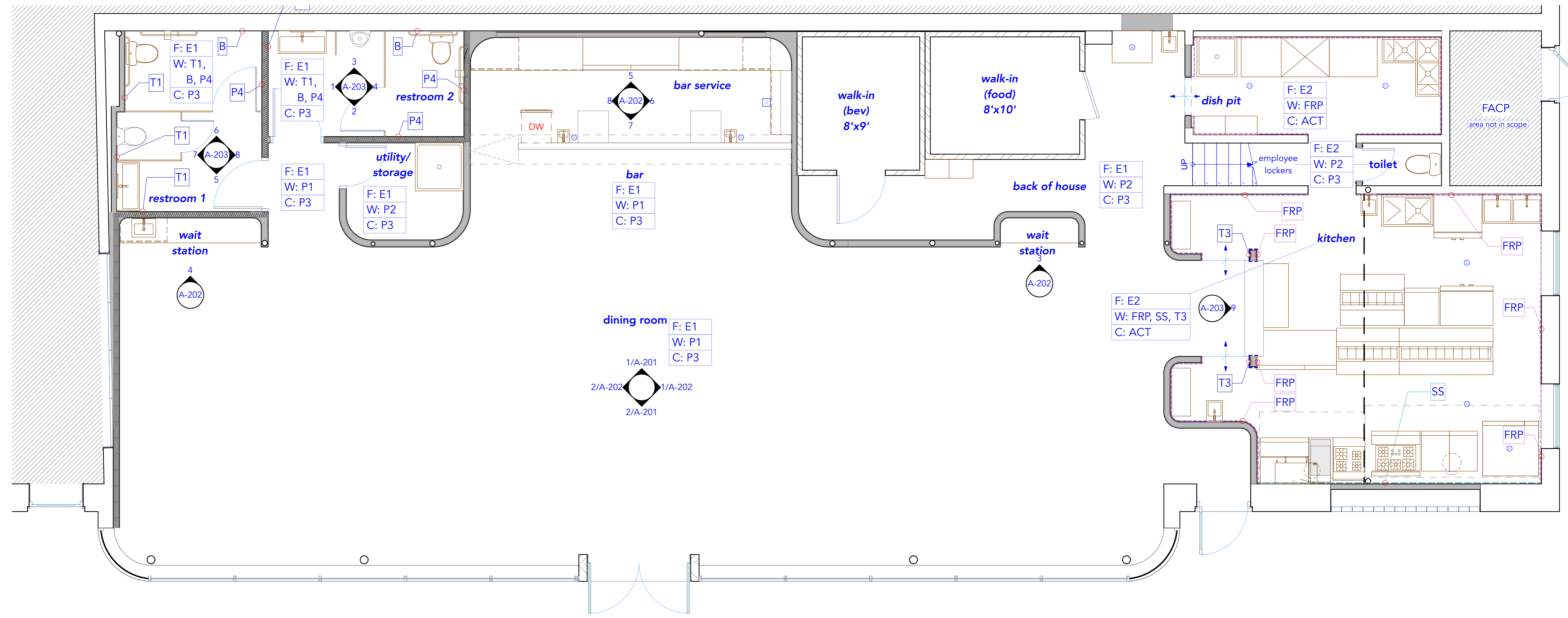


2 MEZZANINE FINISH PLAN
SCALE: 1/4" = 1'-0"

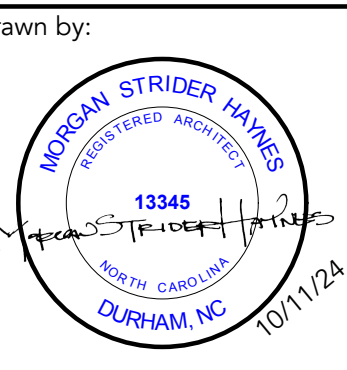
Finish Legend



- E1 = new flake epoxy floor coating on existing concrete slab
- E2 = new JetRock (or approved equal) epoxy floor coating on existing concrete slab, w/ epoxy wall base cove system by Xtreme Polishing Systems (or approved equal), turns up wall 4" min.
- VT = new vinyl tile w/ 4" rubber cove base
- WD = new clear water based polyurethane on existing wood flooring
- B = existing brick masonry wall, to receive new paint (color tbd)
- FRP = new fiberglass reinforced plastic panel on new gwb/ existing gwb/ existing masonry wall
- P1 = new acrylic latex paint (color selection tbd)
- P2 = new acrylic latex paint (color selection tbd)
- P3 = new acrylic latex paint (color selection tbd)
- P4 = new acrylic latex paint (color selection tbd)
- SS = new stainless steel panel - 20 gauge, 430 stainless steel with #4 finish
- T1 = new tile (tbd) on tile backer board
- T2 = new tile (tbd) on tile backer board
- T3 = new tile (tbd) on tile backer board
- ACT = new acoustic ceiling tile



1 1st FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"



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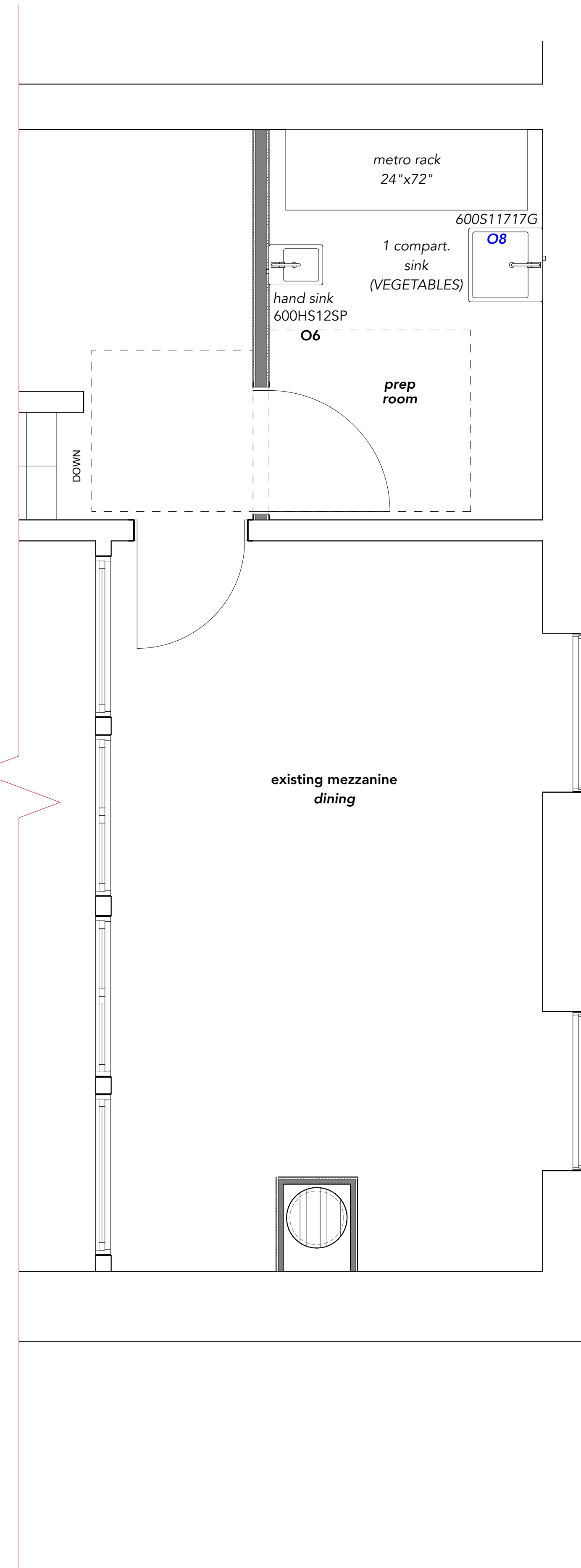
Hutchins Showroom

a restaurant upfit at:

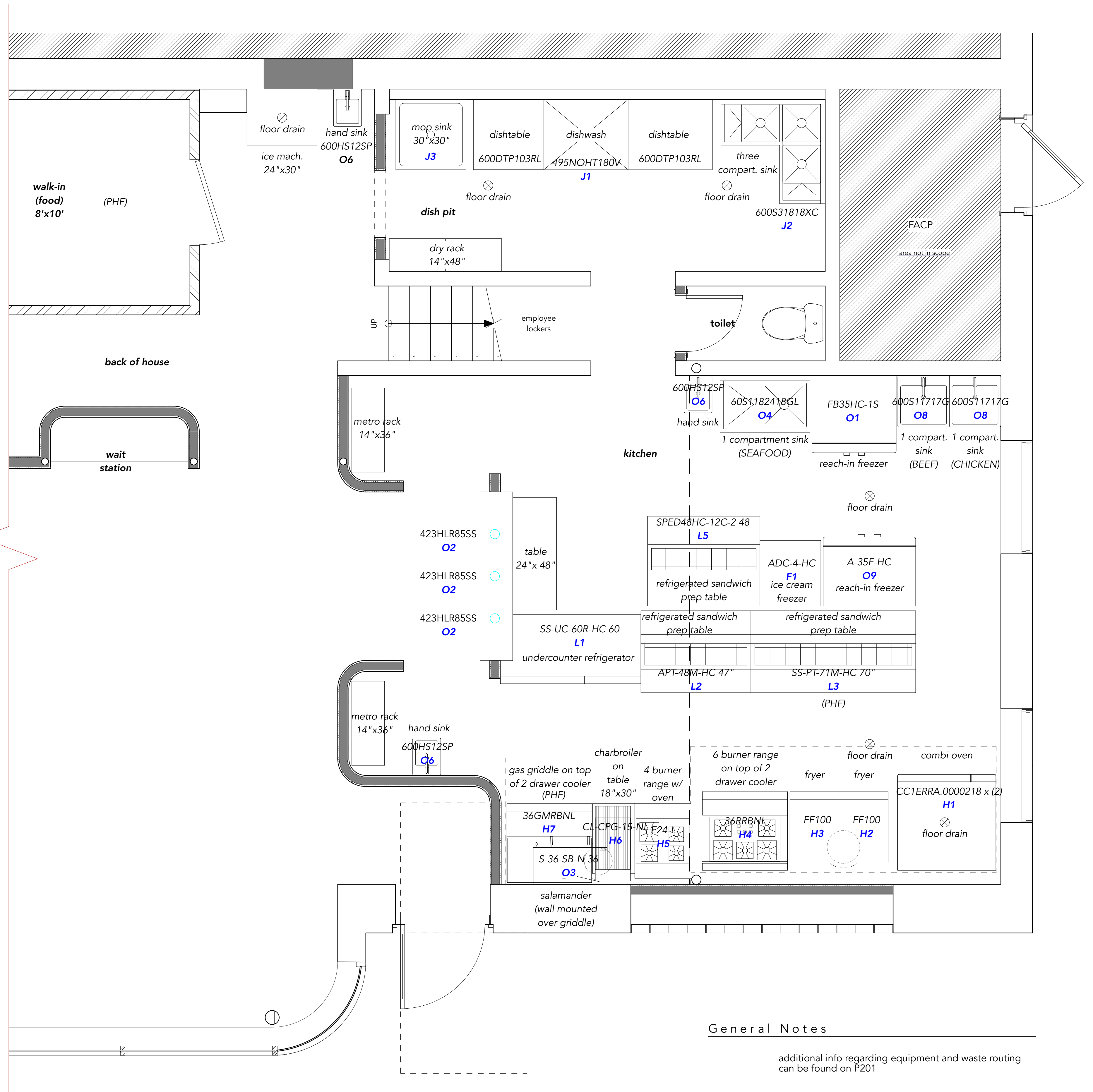
408 W Geer St
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Finish Plan

A-112

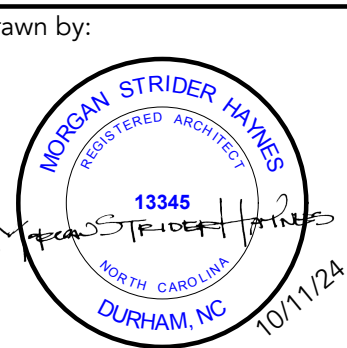


2 ENLARGED MEZZANINE PREP ROOM PLAN
A-113 SCALE: 1/2" = 1'-0"



General Notes
-additional info regarding equipment and waste routing can be found on P201

1 ENLARGED KITCHEN EQUIPMENT PLAN
A-113 SCALE: 1/2" = 1'-0"



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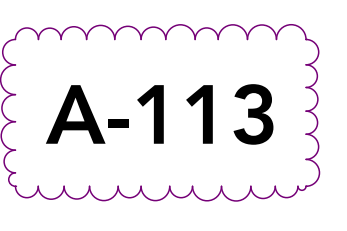
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Enlarged
Kitchen
Equipment
Plans



General Notes

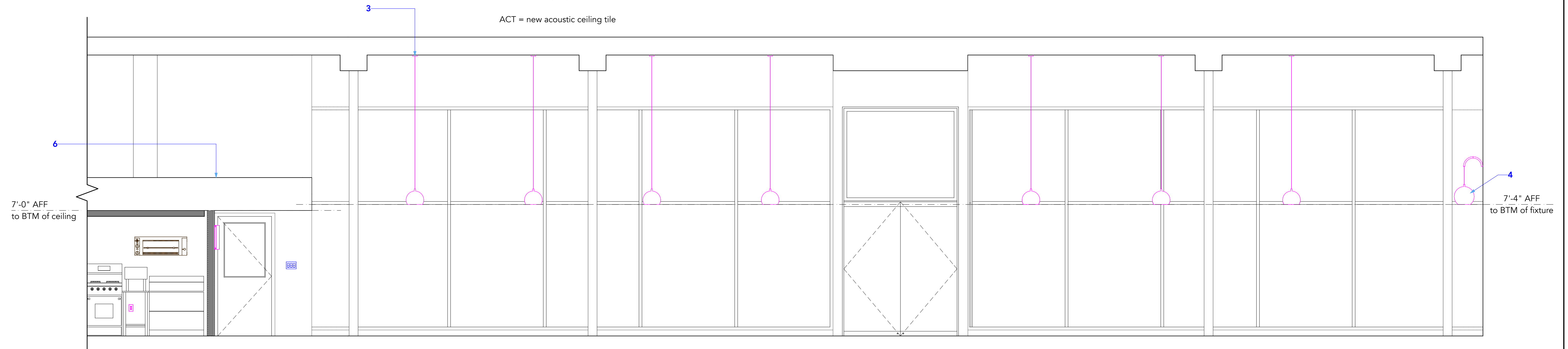
-confirm mounting heights of fixtures with owner and architect, prior to installation

Key Notes

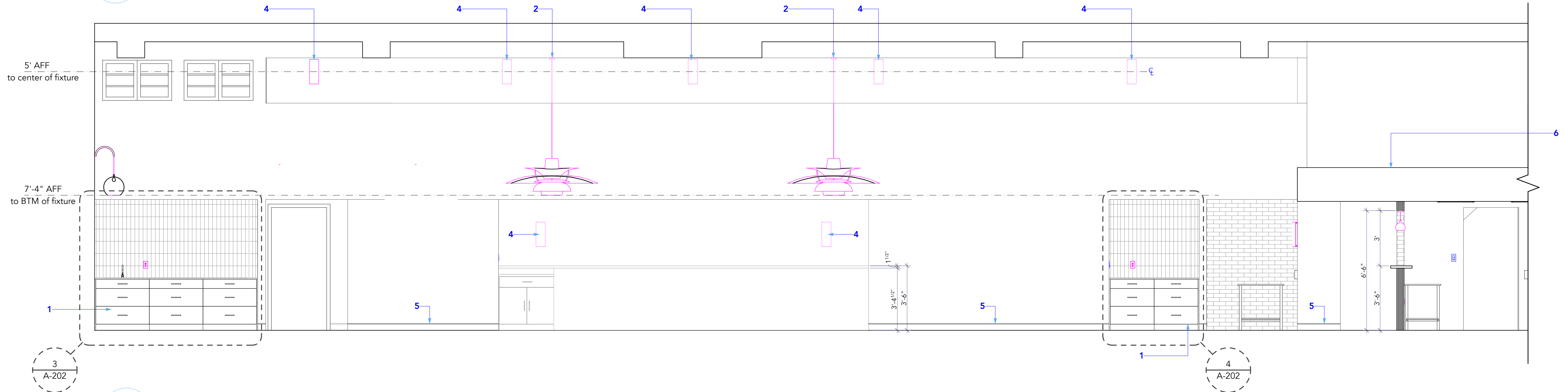
- 1 - new custom millwork- countertop 34" A.F.F.
- 2 - new decorative chandelier (n.i.c.), GC to install
- 3 - new pendant light fixtures (n.i.c.), GC to install, typ.
- 4 - new sconce (n.i.c.), GC to install
- 5 - new integrated reveal base - Fry Reglet DRMBFLR62550400
- 6 - new gwb ceiling finished from above (over kitchen)

Finish Legend

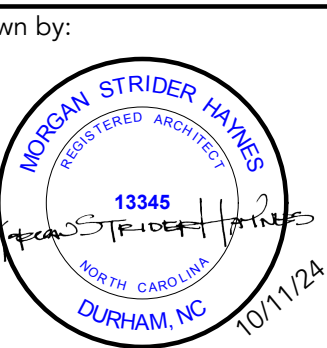
- E1 = new flake epoxy floor coating on existing concrete slab
- E2 = new JetRock (or approved equal) epoxy floor coating on existing concrete slab, w/ epoxy wall base cove system by Xtreme Polishing Systems (or approved equal), turns up wall 4" min.
- VT = new vinyl tile w/ 4" rubber cove base
- WD = new clear water based polyurethane on existing wood flooring
- B = existing brick masonry wall, to receive new paint (color tbd)
- FRP = new fiberglass reinforced plastic panel on new gwb/ existing gwb/ existing masonry wall
- P1 = new acrylic latex paint (color selection tbd)
- P2 = new acrylic latex paint (color selection tbd)
- P3 = new acrylic latex paint (color selection tbd)
- P4 = new acrylic latex paint (color selection tbd)
- SS = new stainless steel panel - 20 gauge, 430 stainless steel with #4 finish
- T1 = new tile (tbd) on tile backer board
- T2 = new tile (tbd) on tile backer board
- T3 = new tile (tbd) on tile backer board
- ACT = new acoustic ceiling tile



2 DINING ROOM ELEVATION - SOUTH
A-201 SCALE: 3/8" = 1'-0"



1 DINING ROOM ELEVATION - NORTH
A-201 SCALE: 3/8" = 1'-0"



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Interior Elevations

A-201

Key Notes

- 1 - new curved wall, see plan
- 2 - new gwb header wrapping new beam, see struct.
- 3 - new custom millwork- countertop 34" A.F.F.
- 4 - new decorative pendant light fixture (n.i.c.), GC to install
- 5 - new pendant light fixture, mounting heights vary, confirm with owner and architect prior to installation
- 6 - new sconce
- 7 - not used
- 8 - new gwb tray ceiling, see RCP
- 9 - new flexibleLED tape cove light, follows curved walls at wait stations; run new cove light in new Fry Reglet (or approved equal) reveal DRMCT-625-100
- 10 - new gwb
- 11 - new 2x4 wood framing
- 12 - new Schluter Jolly tile termination strip (full height of wait station recess, tile runs in front of millwork to floor), confirm finish w/ owner and architect
- 13 - back of millwork to accommodate rounded corner
- 14 - new integrated reveal base - Fry Reglet DRMBFLR62550400

Finish Legend

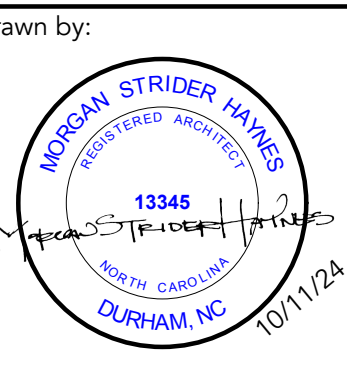
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- VT = new vinyl tile w/ 4" rubber cove base
- WD = new clear water based polyurethane on existing wood flooring

- B = existing brick masonry wall, to receive new paint (color tbd)
- FRP = new fiberglass reinforced plastic panel on new gwb/ existing gwb/ existing masonry wall
- P1 = new acrylic latex paint (color selection tbd)
- P2 = new acrylic latex paint (color selection tbd)
- P3 = new acrylic latex paint (color selection tbd)
- P4 = new acrylic latex paint (color selection tbd)
- SS = new stainless steel panel - 20 gauge, 430 stainless steel with #4 finish
- T1 = new tile (tbd) on tile backer board
- T2 = new tile (tbd) on tile backer board
- T3 = new tile (tbd) on tile backer board

- ACT = new acoustic ceiling tile

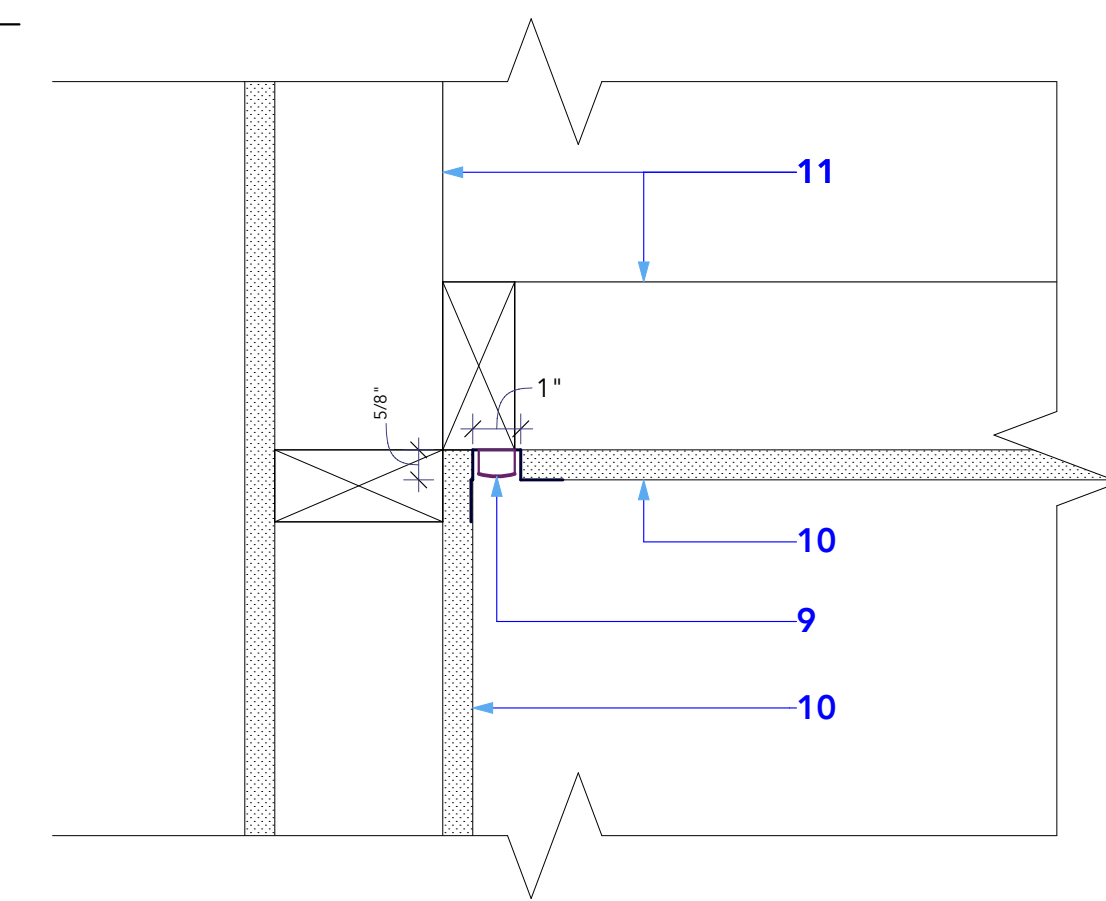
General Notes

-confirm mounting heights of fixtures with owner and architect, prior to installation

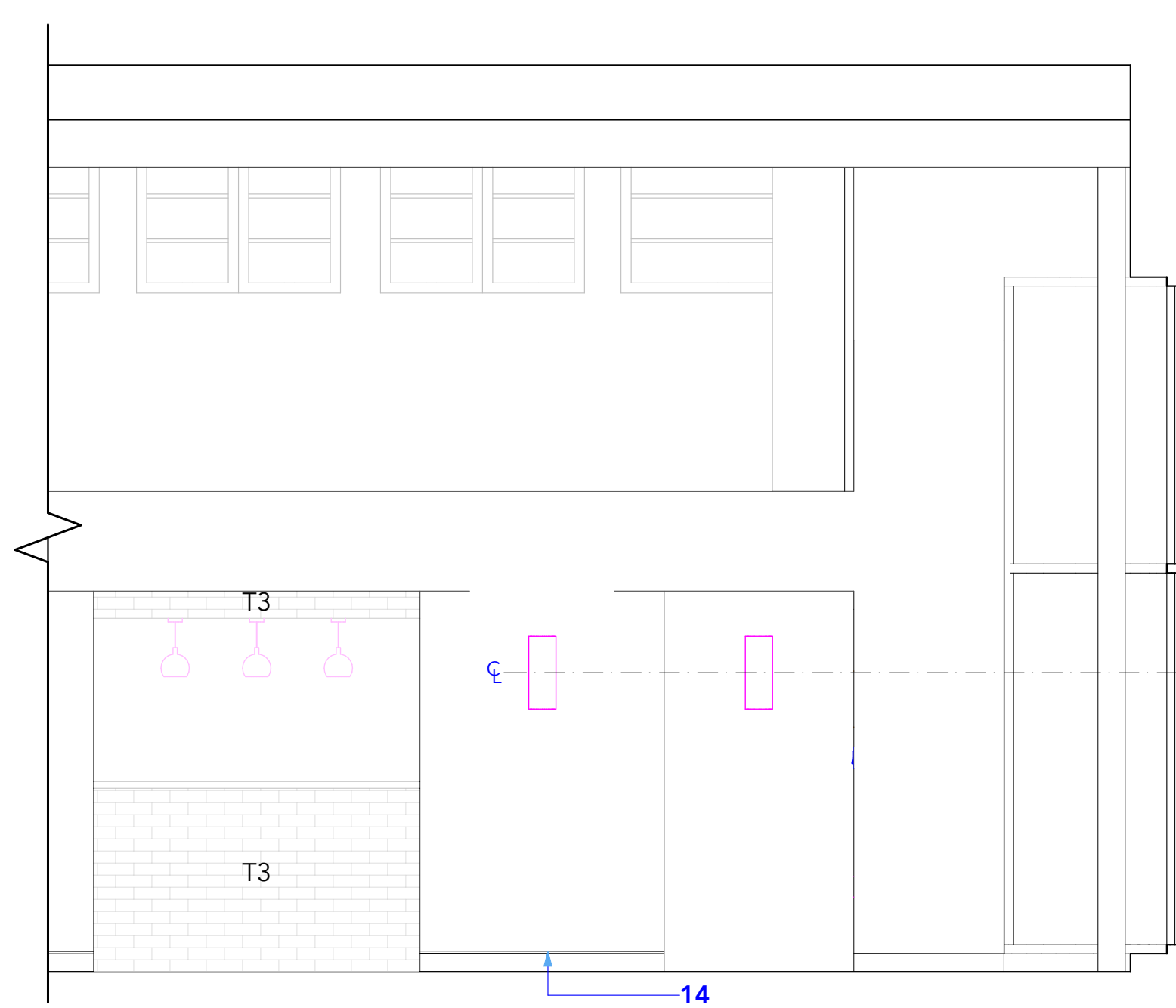


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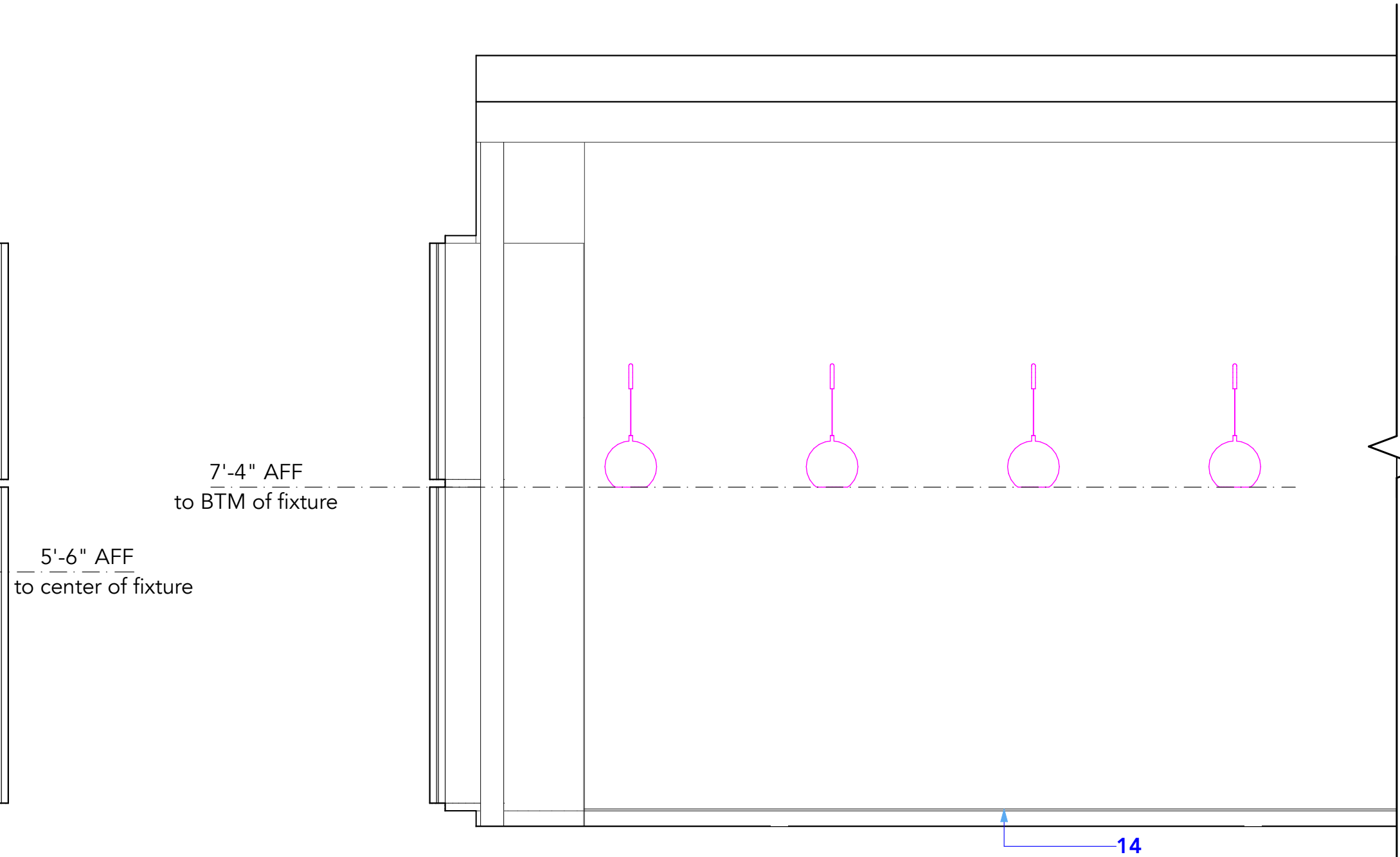
for permit 10/11/24
IFC 1/31/25



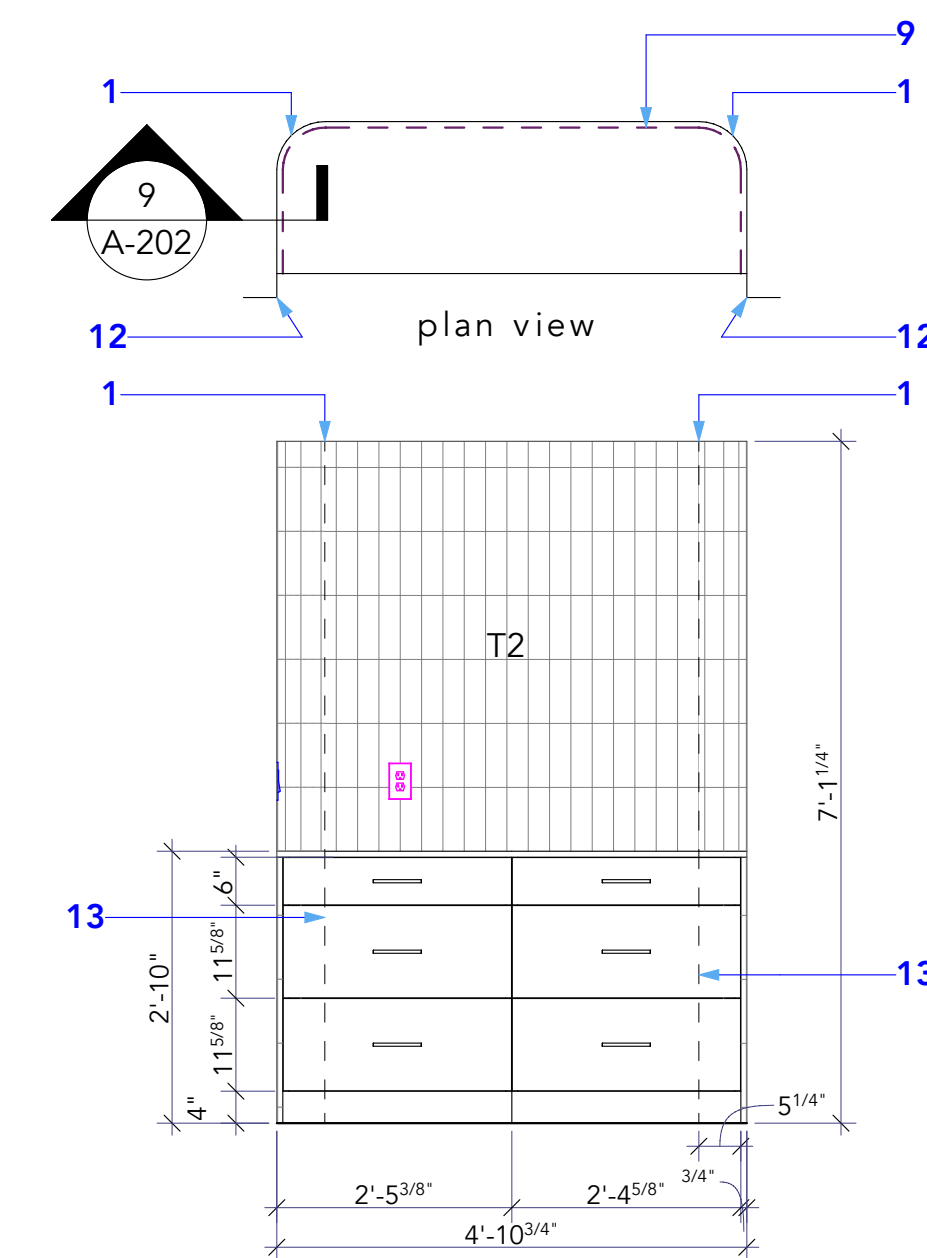
9 Cove Light Detail
A-202 SCALE: 3" = 1'-0"



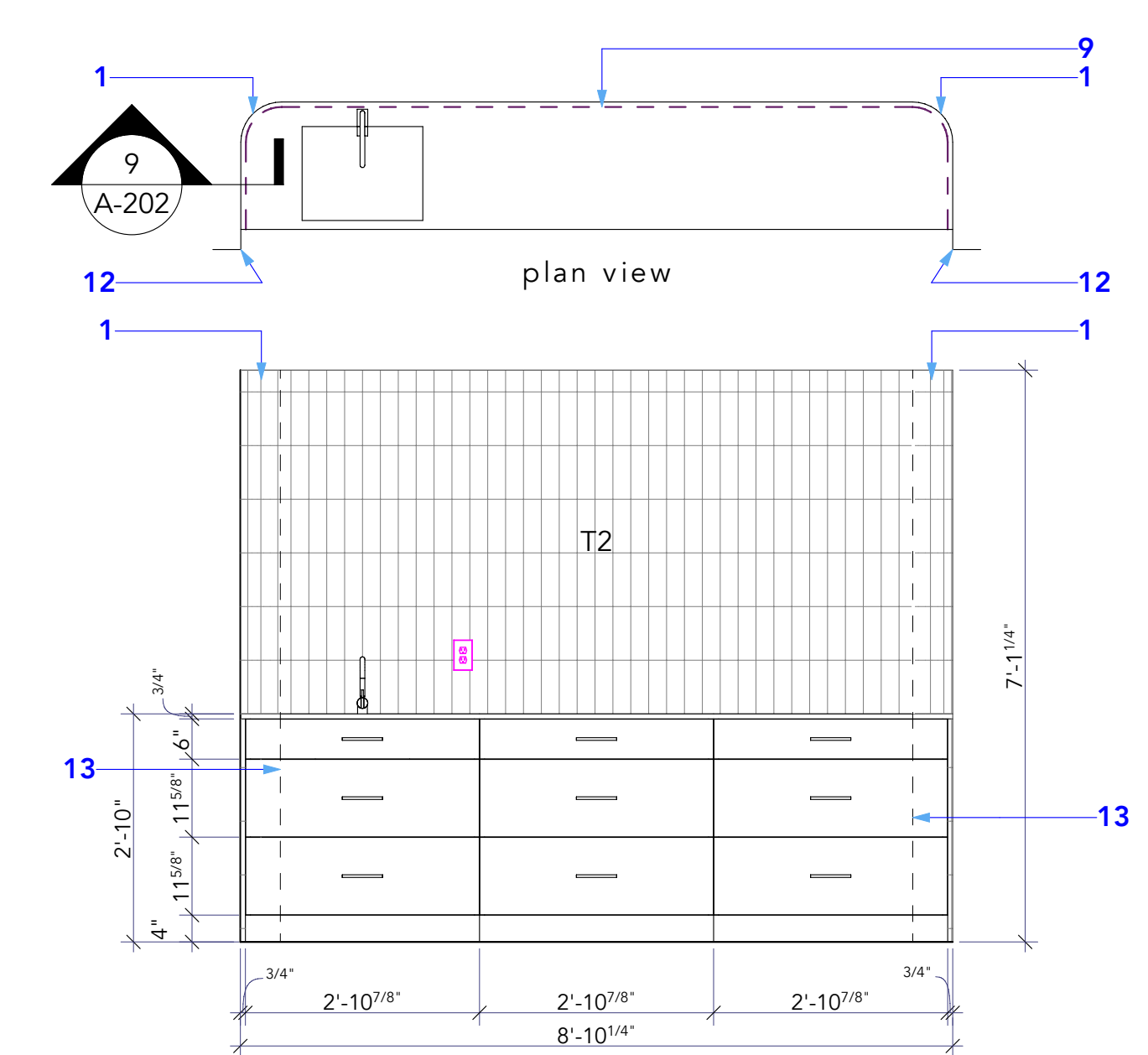
1 DINING ROOM ELEVATION - EAST
A-202 SCALE: 3/8" = 1'-0"



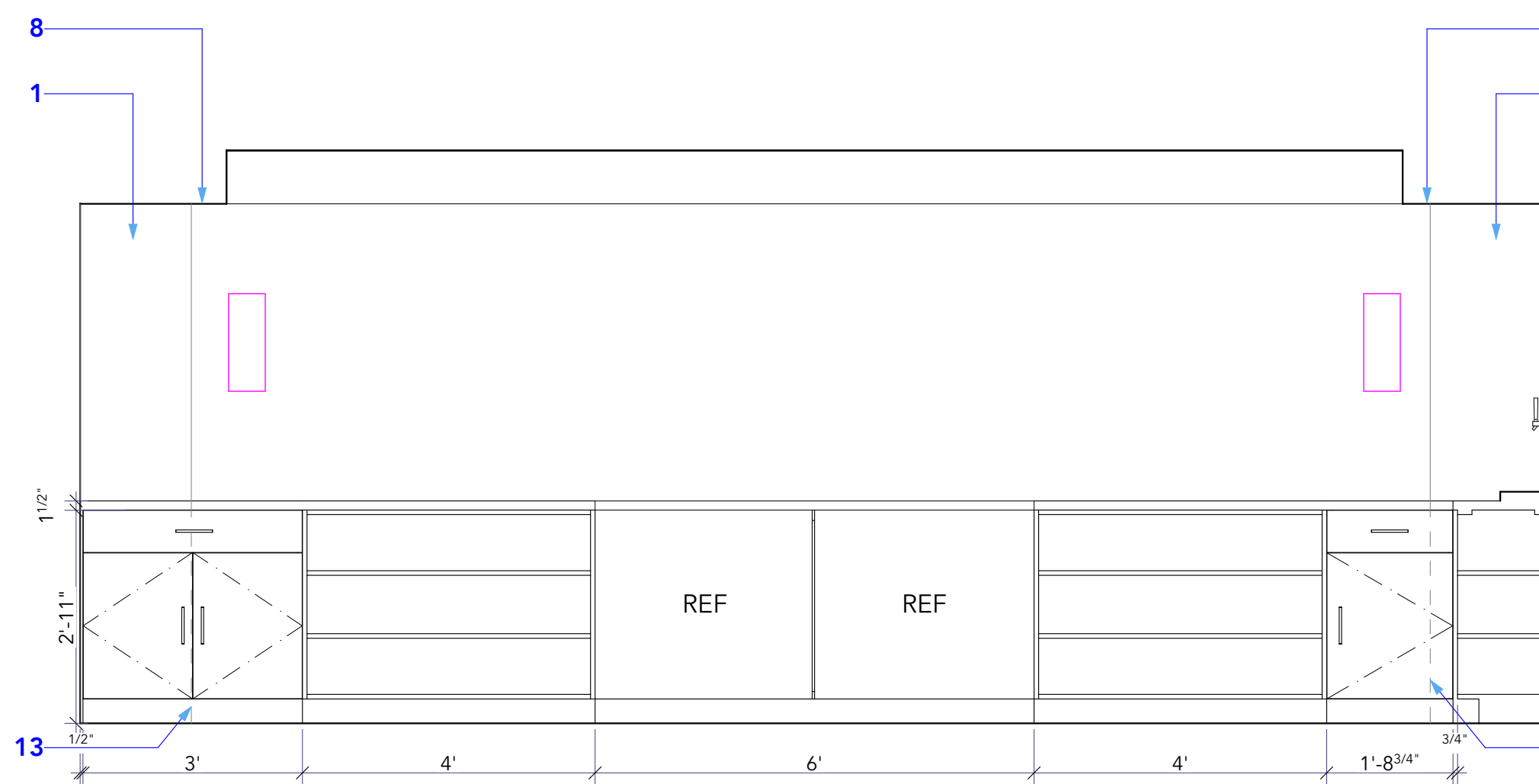
2 DINING ROOM ELEVATION - WEST
A-202 SCALE: 3/8" = 1'-0"



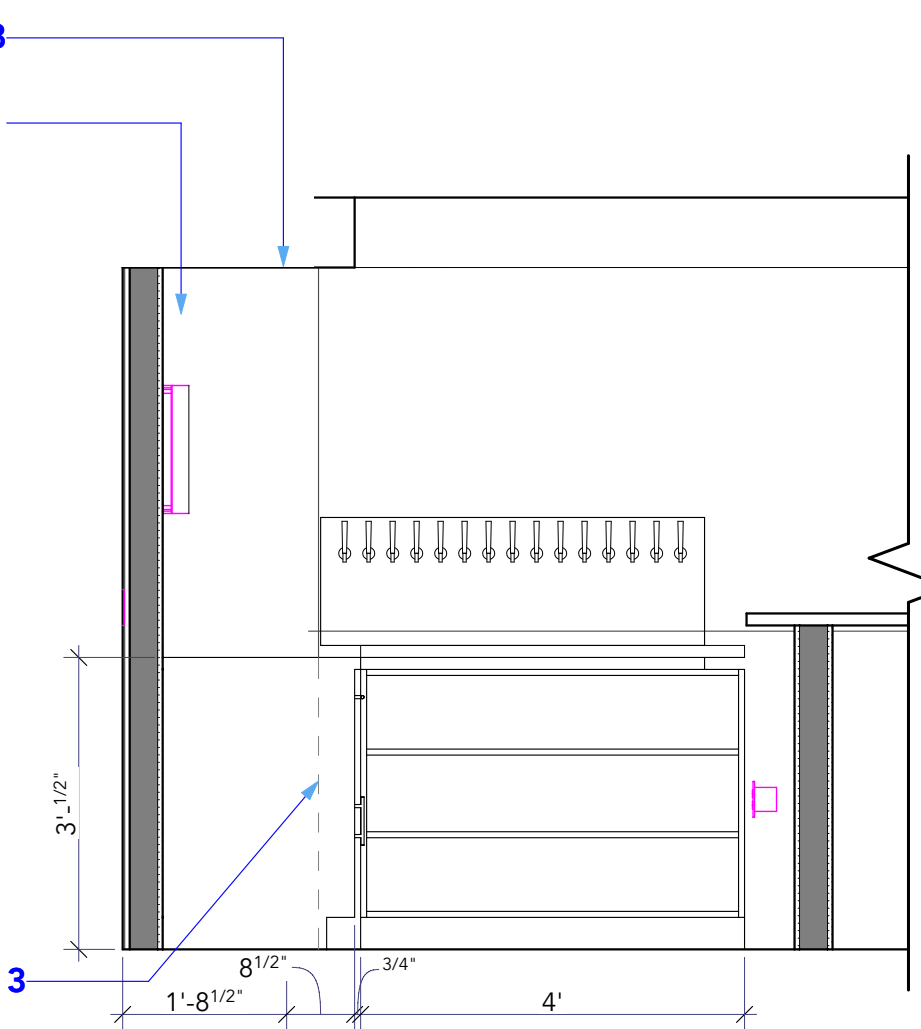
3 WAIT STATION 1
A-202 SCALE: 1/2" = 1'-0"



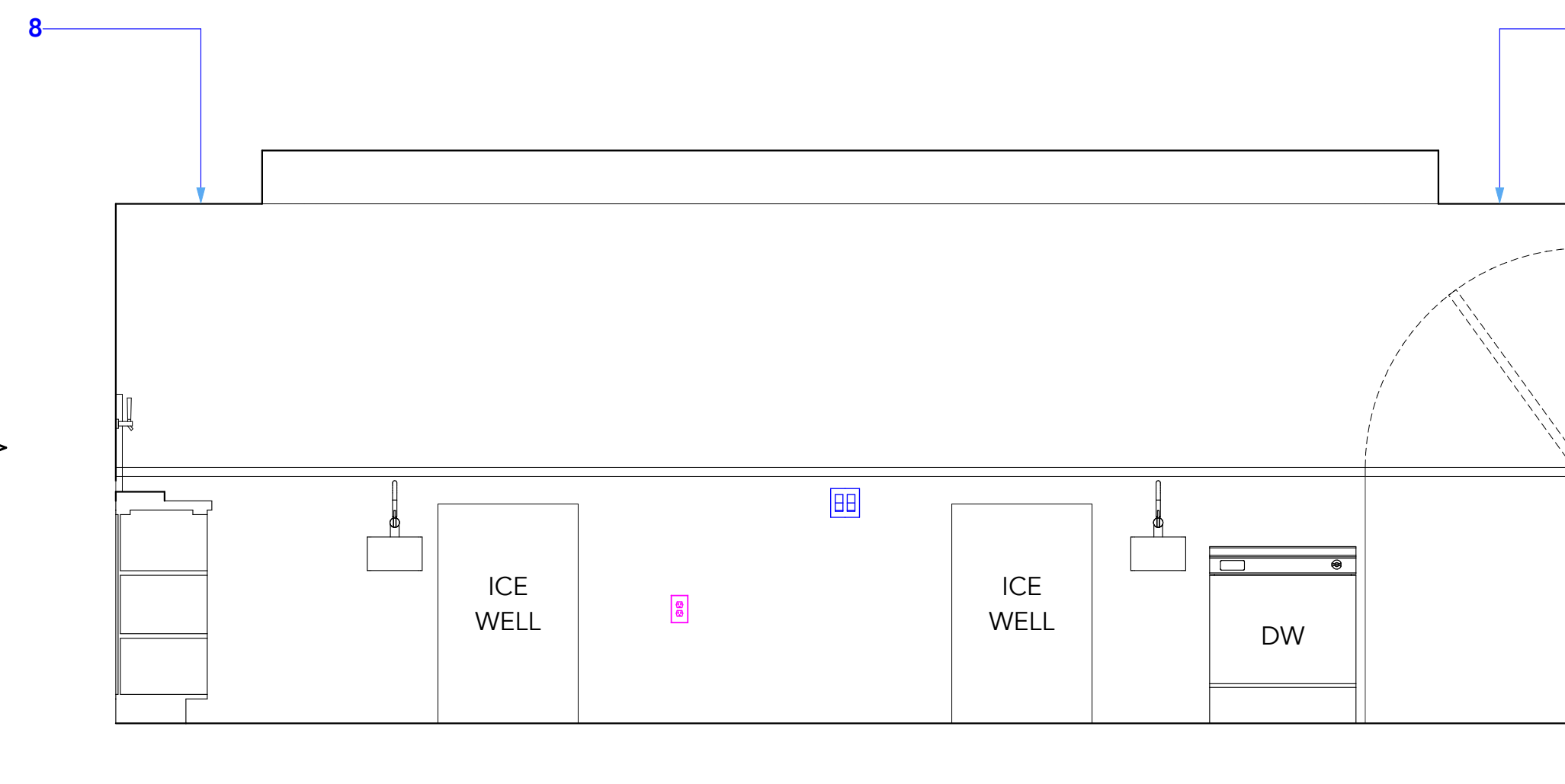
4 WAIT STATION 2
A-202 SCALE: 1/2" = 1'-0"



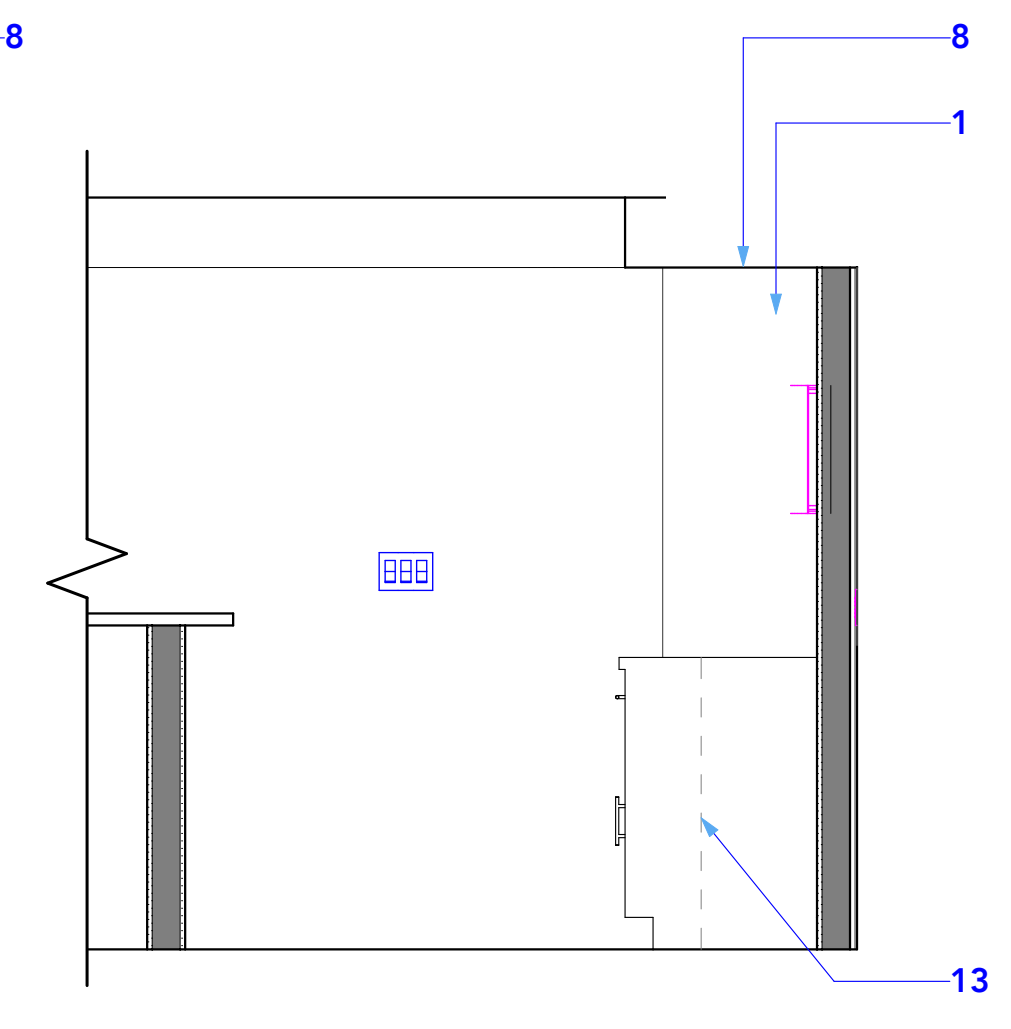
5 BAR
A-202 SCALE: 1/2" = 1'-0"



6 BAR
A-202 SCALE: 1/2" = 1'-0"



7 BAR
A-202 SCALE: 1/2" = 1'-0"



8 BAR
A-202 SCALE: 1/2" = 1'-0"

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Interior Elevations

A-202

Key Notes

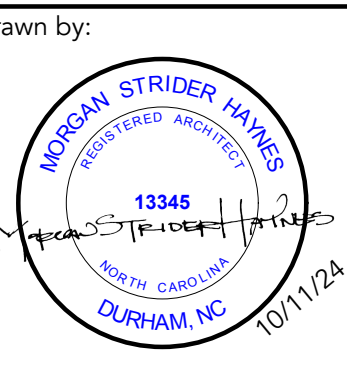
- 1 - new sconce
- 2 - new heat lamps
- 3 - new stainless steel counter
- 4 - new Schluter Jolly termination strips at all outside corners
- 5 - new tile wraps into opening and around wall to meet FRP on the other side
- 6 - new ovalar spiral supply duct
- 7 - new wood restroom partition
- 8 - new gw b ceiling
- 9 - new integrated reveal base - Fry Reglet DRMBFLR62550400

Finish Legend

- E1 = new flake epoxy floor coating on existing concrete slab
- E2 = new JetRock (or approved equal) epoxy floor coating on existing concrete slab, w/ epoxy wall base cove system by Xtreme Polishing Systems (or approved equal), turns up wall 4" min.
- VT = new vinyl tile w/ 4" rubber cove base
- WD = new clear water based polyurethane on existing wood flooring
- B = existing brick masonry wall, to receive new paint (color tbd)
- FRP = new fiberglass reinforced plastic panel on new gw b/ existing gw b/ existing masonry wall
- P1 = new acrylic latex paint (color selection tbd)
- P2 = new acrylic latex paint (color selection tbd)
- P3 = new acrylic latex paint (color selection tbd)
- P4 = new acrylic latex paint (color selection tbd)
- SS = new stainless steel panel - 20 gauge, 430 stainless steel with #4 finish
- T1 = new tile (tbd) on tile backer board
- T2 = new tile (tbd) on tile backer board
- T3 = new tile (tbd) on tile backer board
- ACT = new acoustic ceiling tile

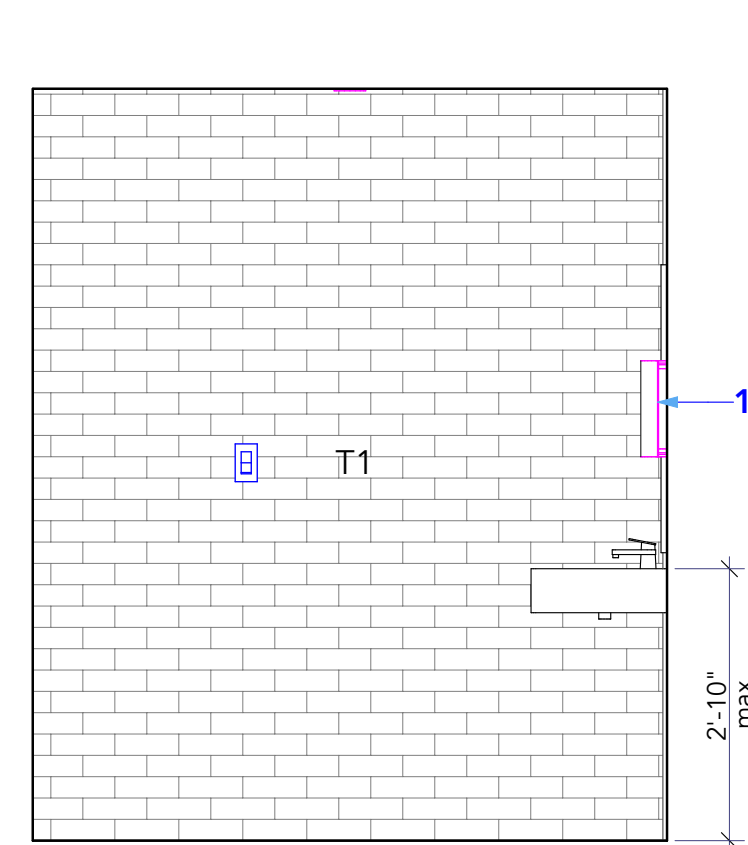
General Notes

-confirm mounting heights of fixtures with owner and architect, prior to installation

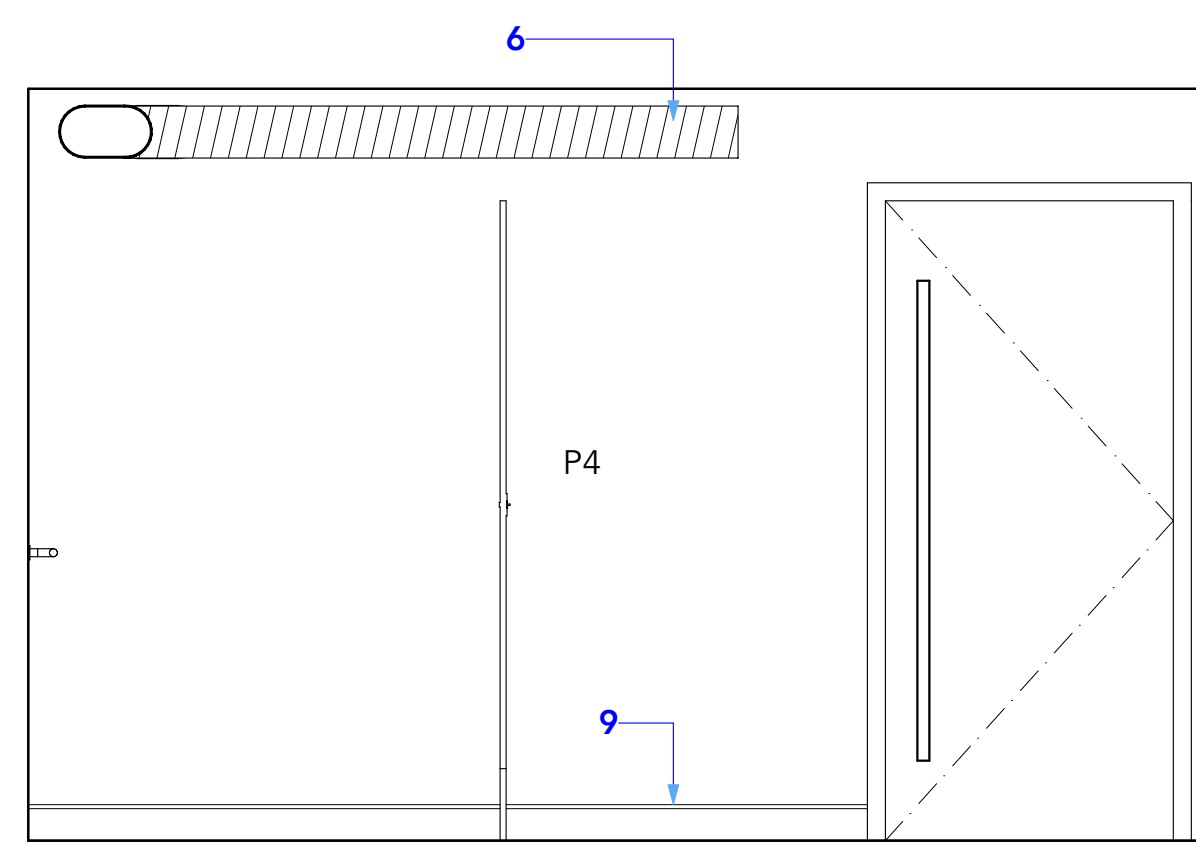


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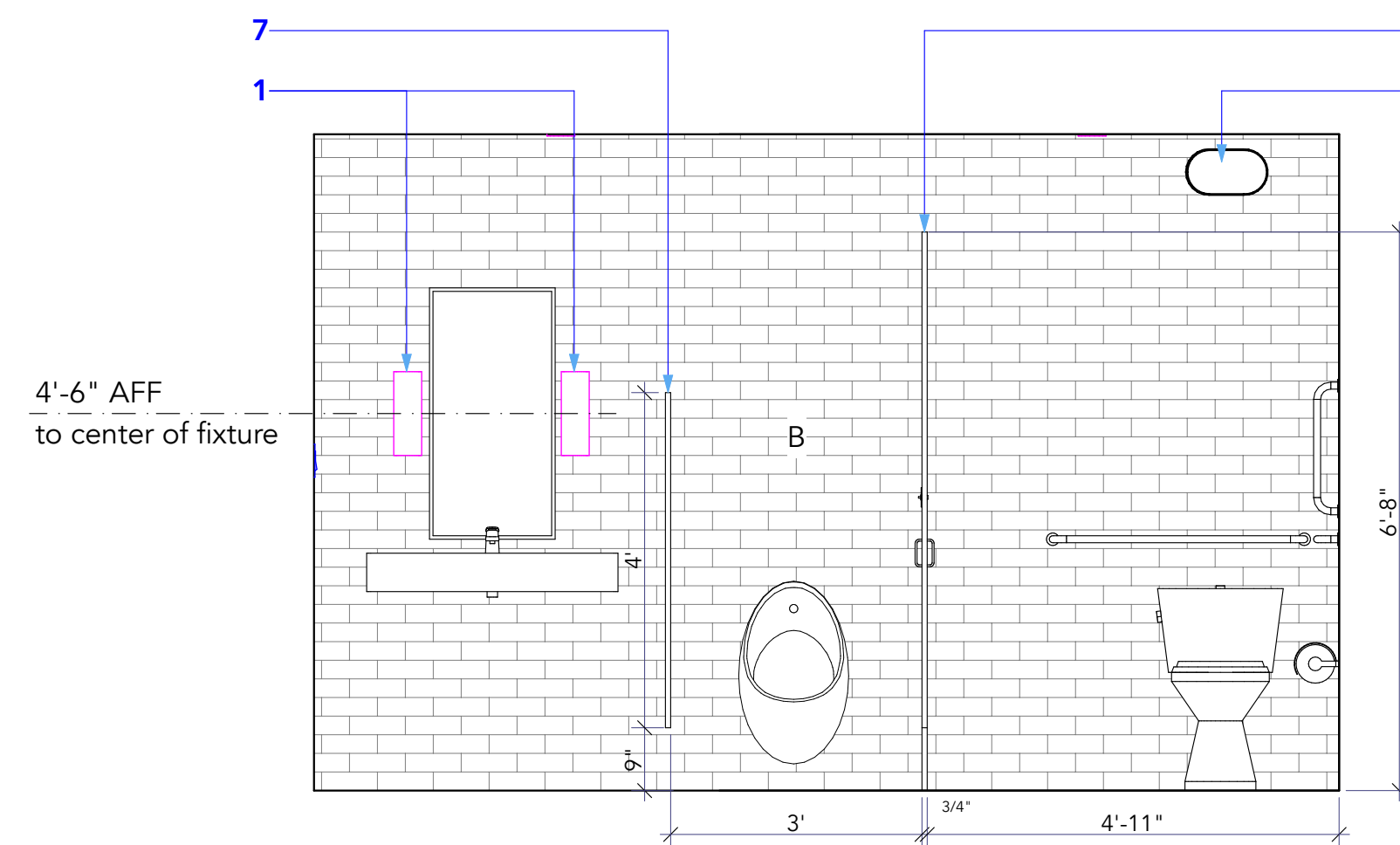
for permit 10/11/24
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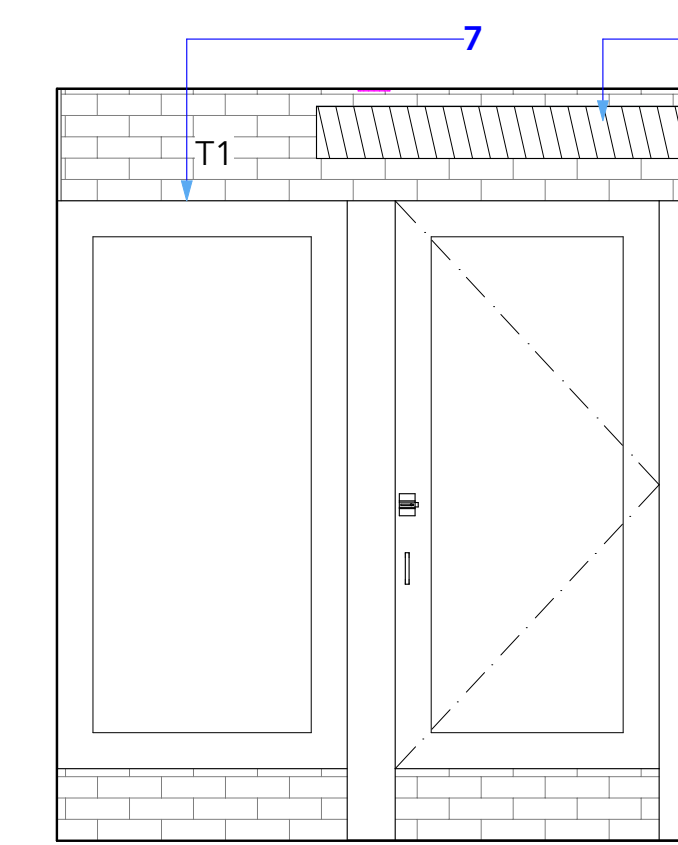
1 RESTROOM 2
A-203 SCALE: 1/2" = 1'-0"



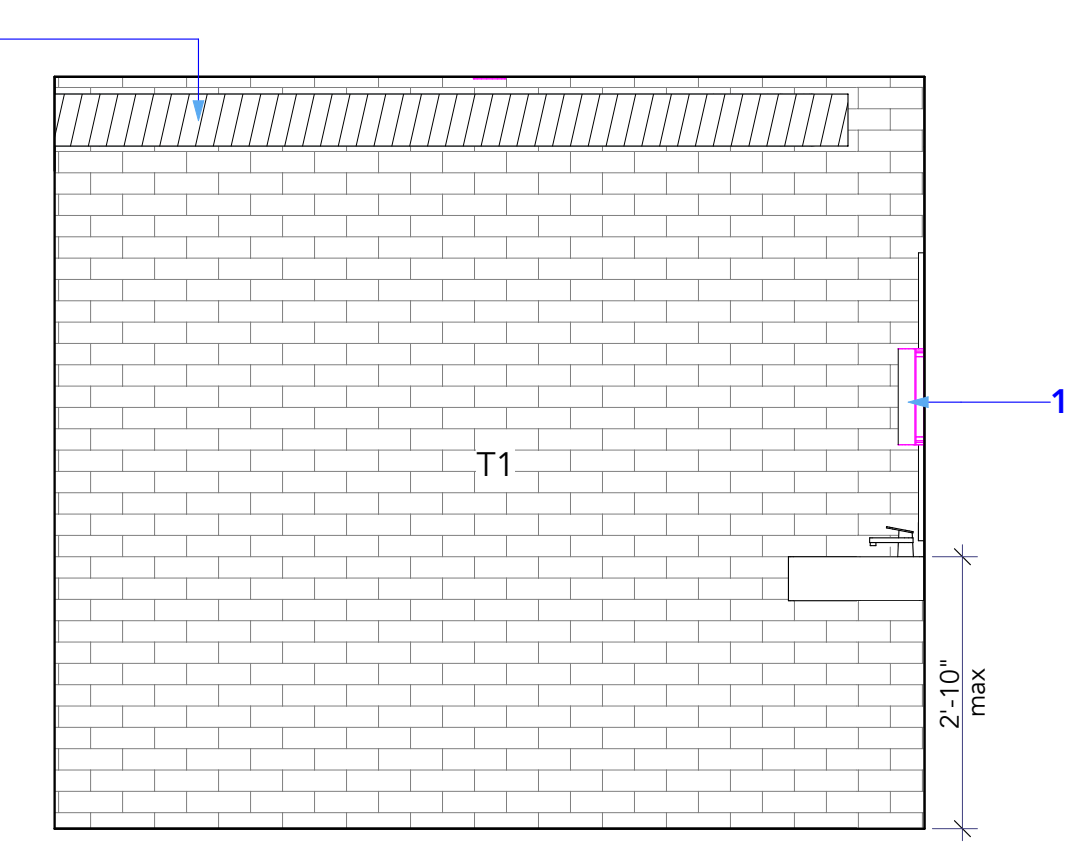
2 RESTROOM 2
A-203 SCALE: 1/2" = 1'-0"



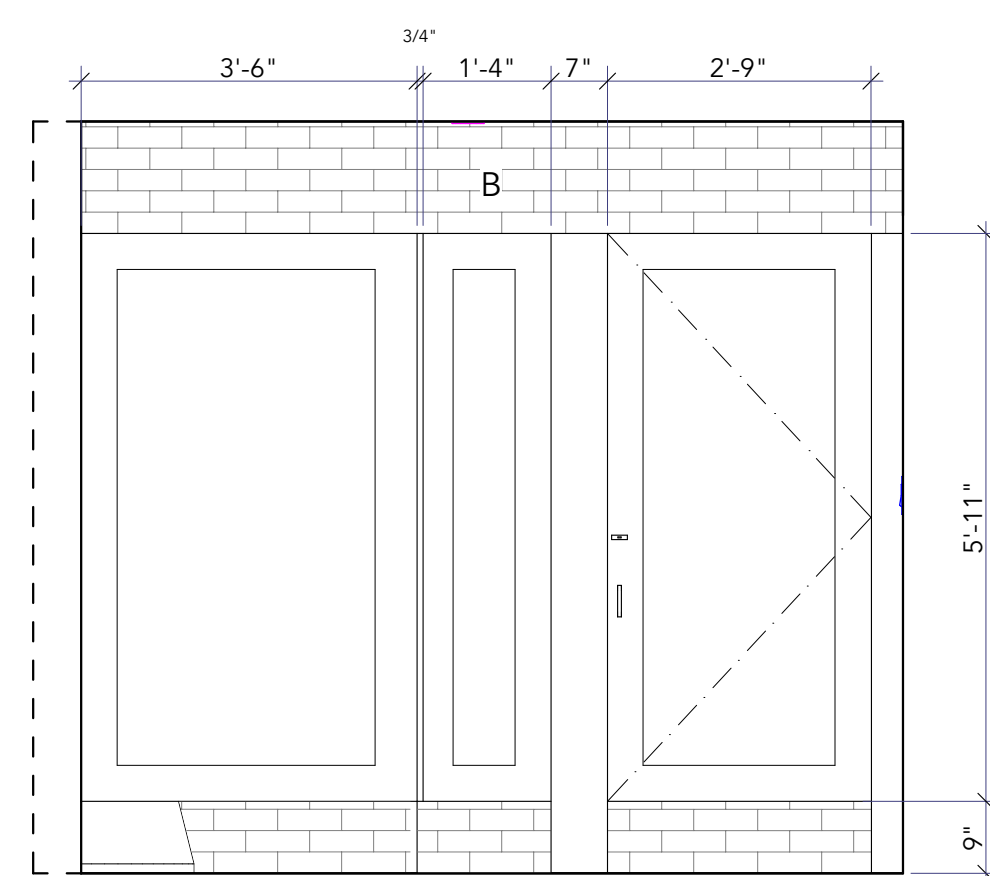
3 RESTROOM 2
A-203 SCALE: 1/2" = 1'-0"



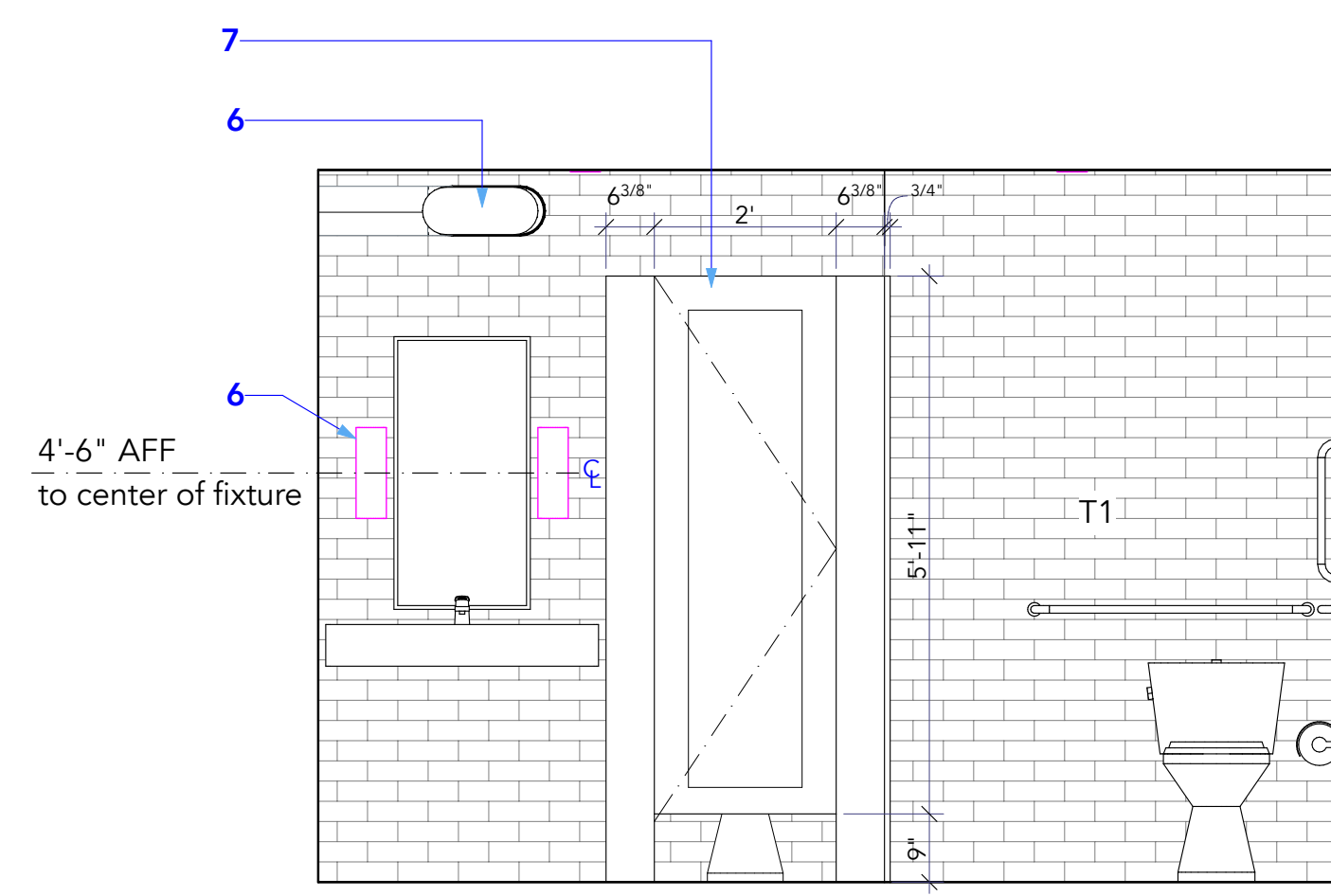
4 RESTROOM 2
A-203 SCALE: 1/2" = 1'-0"



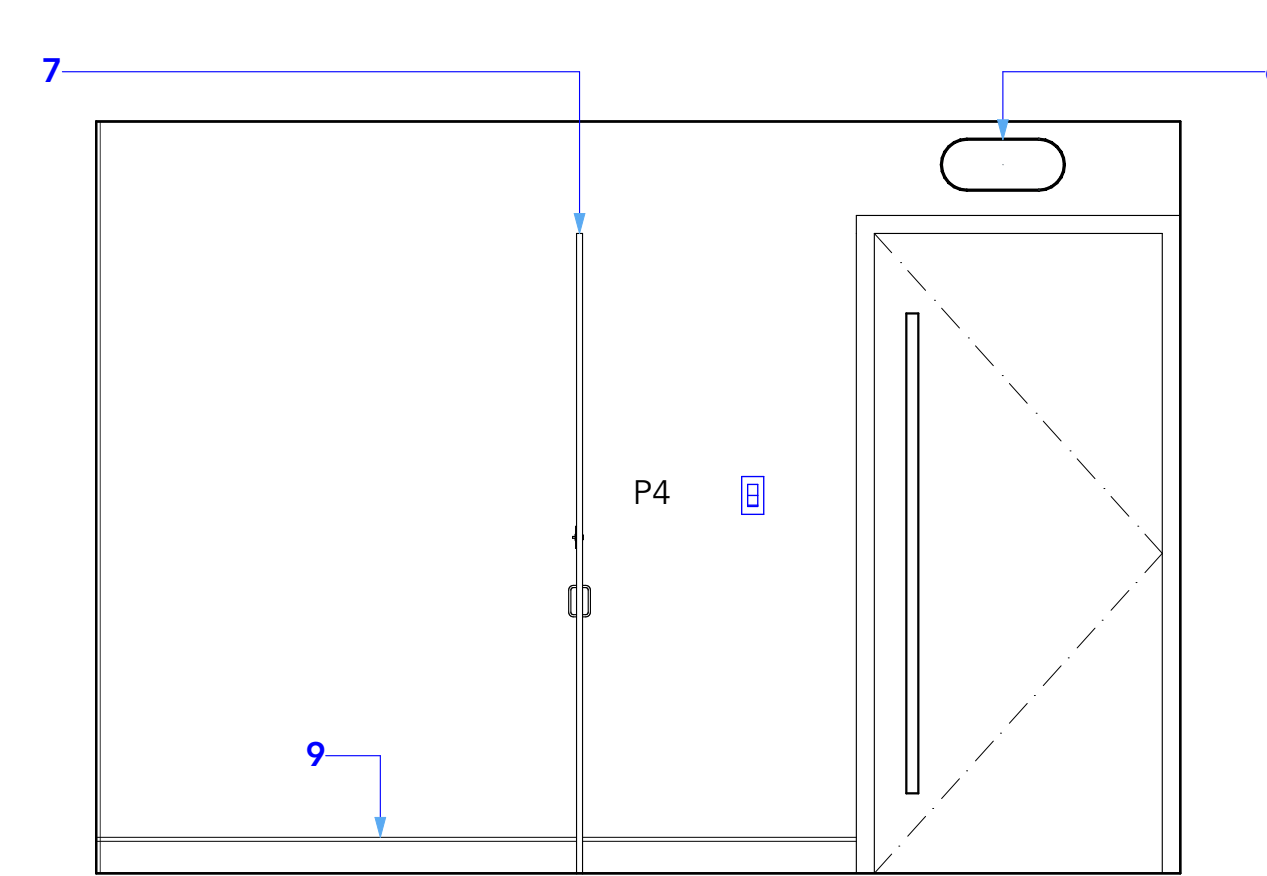
5 RESTROOM 1
A-203 SCALE: 1/2" = 1'-0"



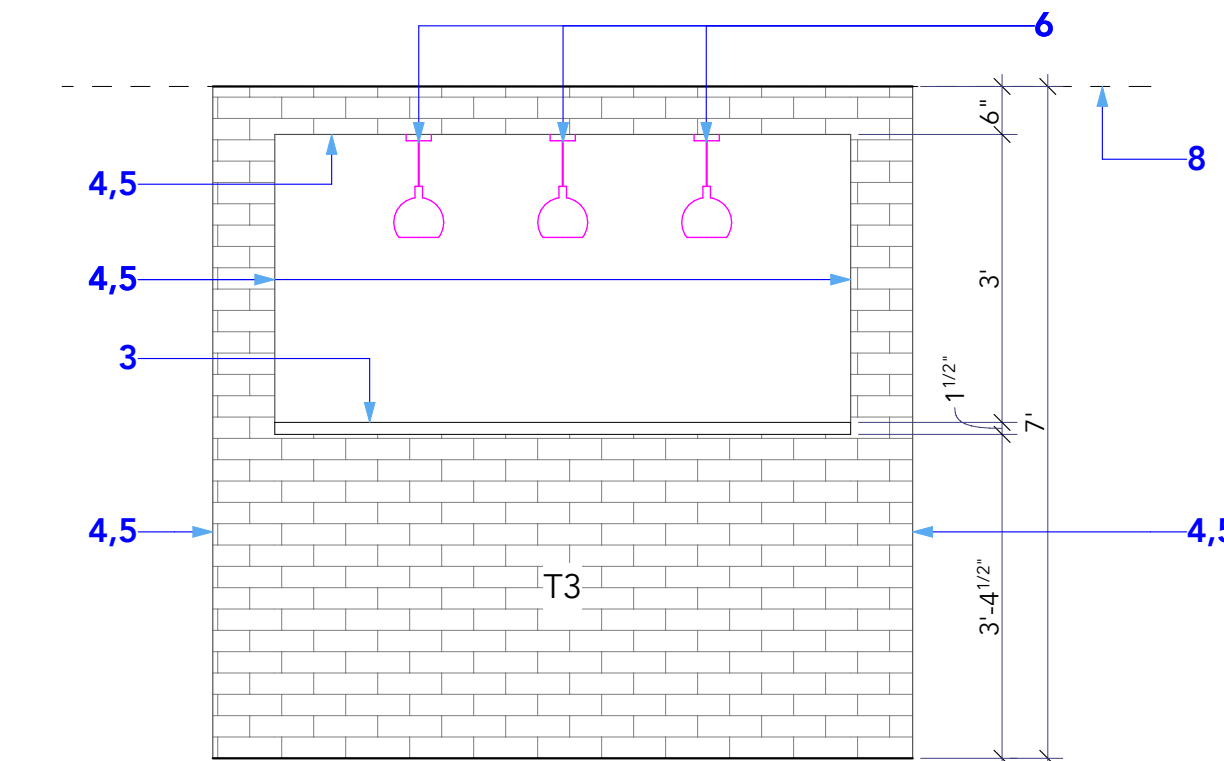
6 RESTROOM 1
A-203 SCALE: 1/2" = 1'-0"



7 RESTROOM 1
A-203 SCALE: 1/2" = 1'-0"



8 RESTROOM 1
A-203 SCALE: 1/2" = 1'-0"



9 PASS
A-203 SCALE: 1/2" = 1'-0"

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Interior Elevations

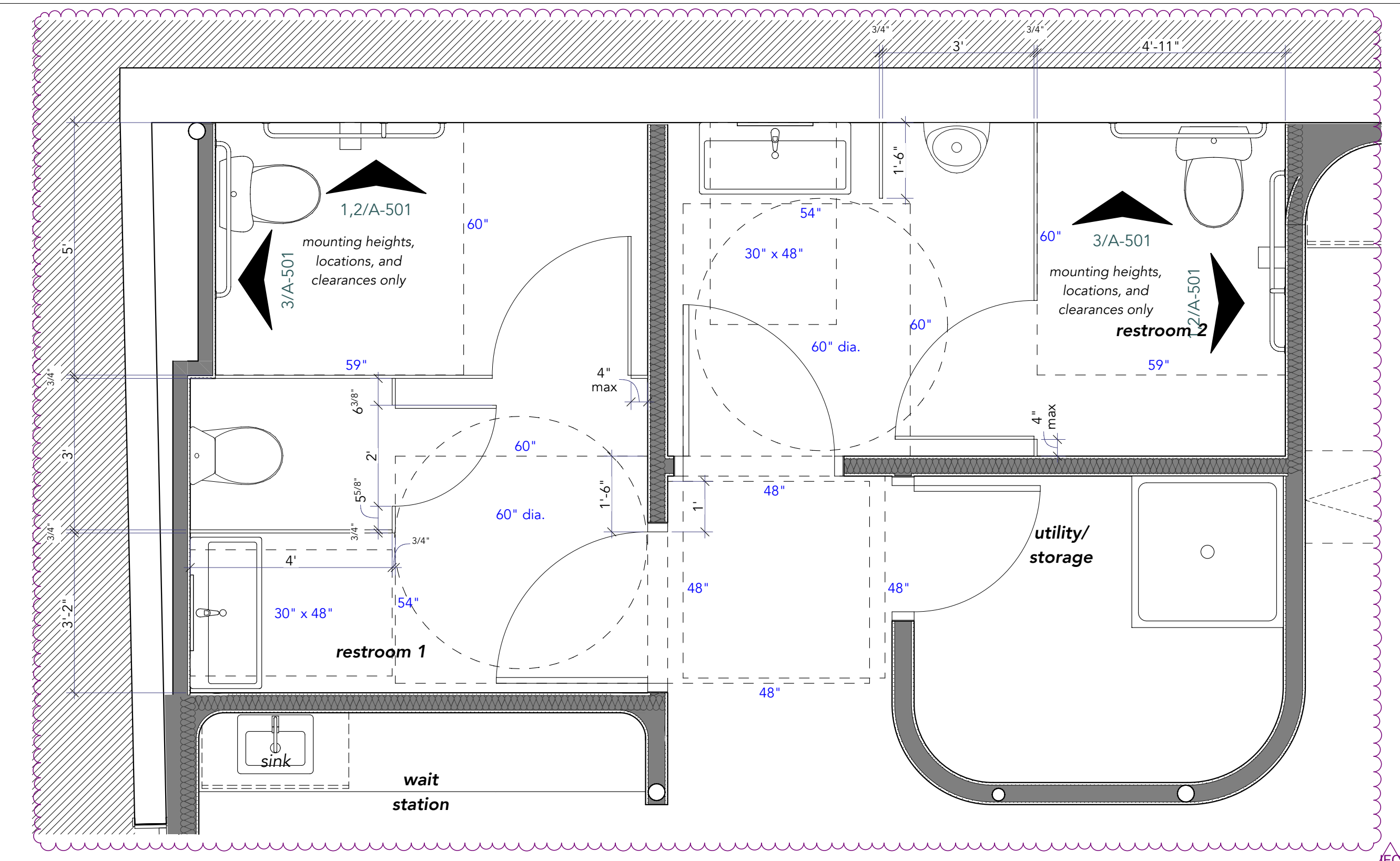
A-203

WINDOW SCHEDULE						
ID	RO SIZE	UNIT SIZE	TYPE/MODEL	MANUFACTURER	OPERATION	NOTES
A	4'x2'-5 1/2"	3'-11 1/2"x2'-5 1/4"	wood	tbd	double casement	to match existing private dining windows

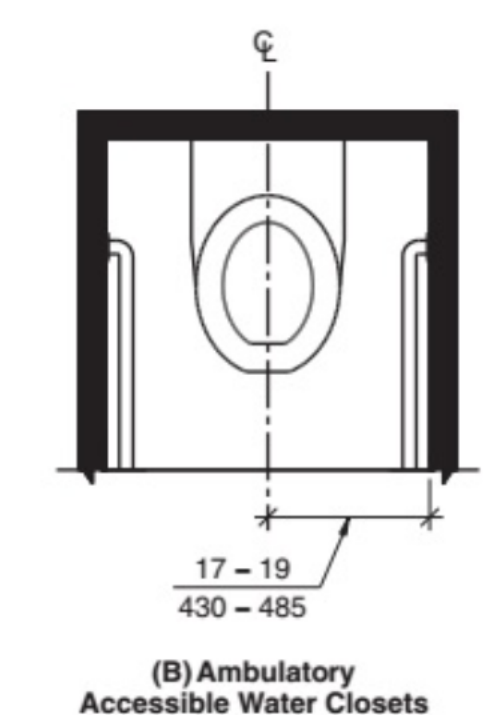
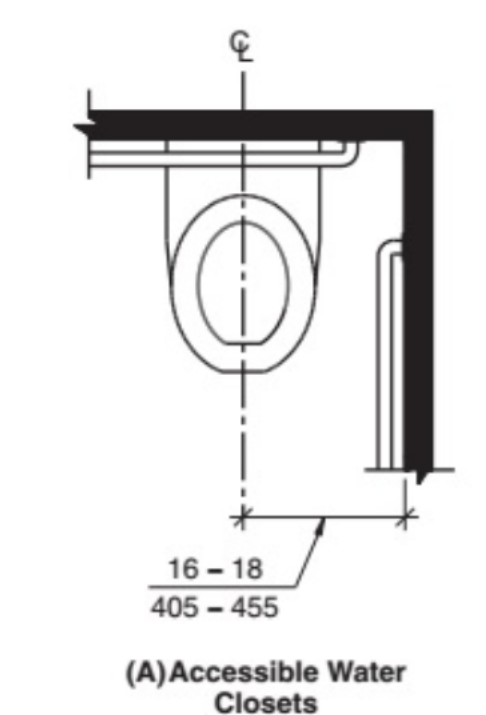
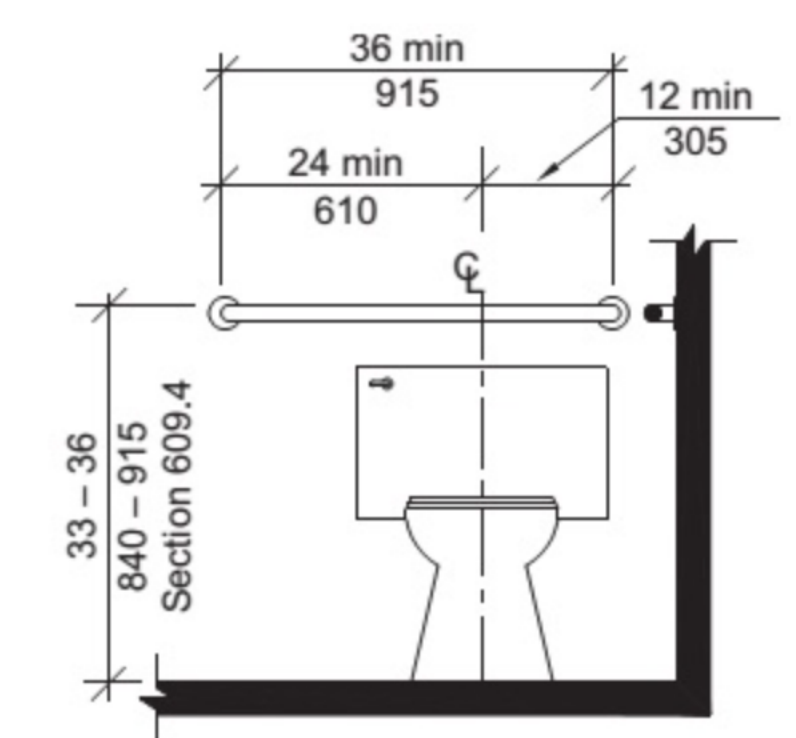
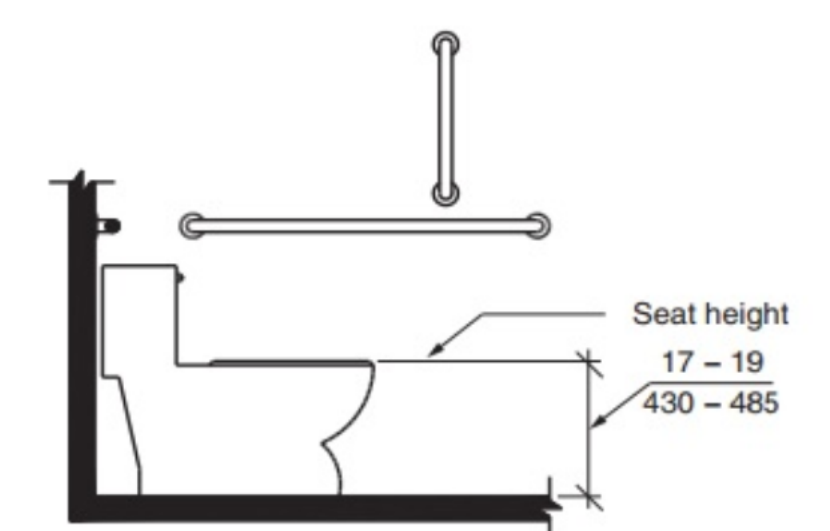
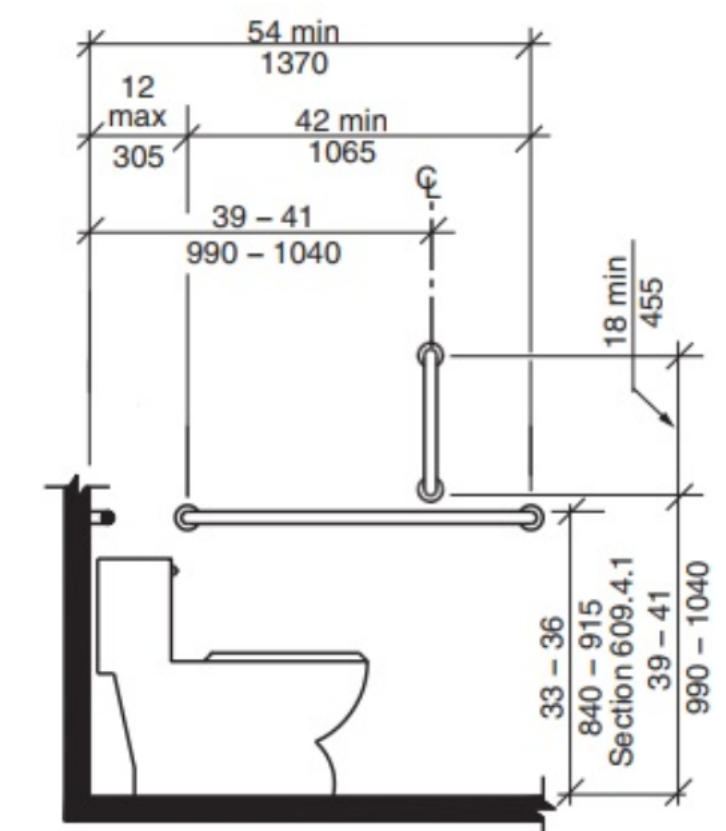
12 Window Schedule
A-501

ID	ROOM	DOOR LEAF				FRAME			HDW SET	ACCESSORIES	REMARKS
		NOMINAL WIDTH	NOMINAL HEIGHT	LEAF THICKNESS	MATL	TYPE	MATL	TYPE			
01	toilet	2'	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	privacy	closer	
03	restroom 2	2'-6"	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	push/pull	closer	15" semi circle push plate on push side, 5" bar pull on pull side, finish tbd
04	utility	3'	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	push/pull	closer	15" semi circle push plate on push side, 5" bar pull on pull side, finish tbd
05	restroom 1	3'	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	push/pull	closer	15" semi circle push plate on push side, 5" bar pull on pull side, finish tbd
06	prep room	3'	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	passage	door stop	
07	store room	3'	6'-8"	1 3/8"	solid core wood	flush	hollow metal	knockdown	store room	door stop	

11 Door Schedule
A-501



10 ENLARGED RESTROOM PLANS - ALL DIMS TO FINISH FACE
SCALE: 1/2" = 1'-0"

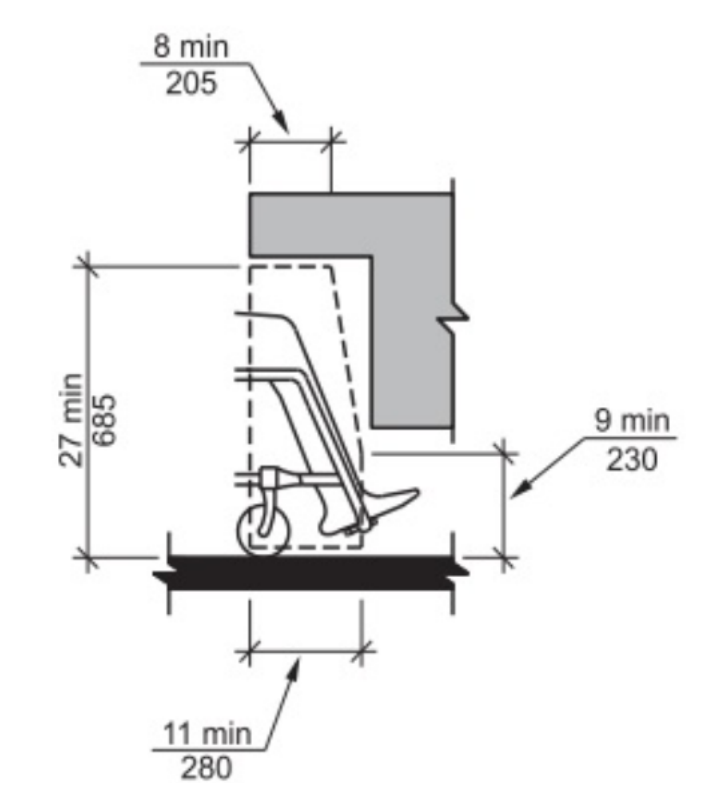
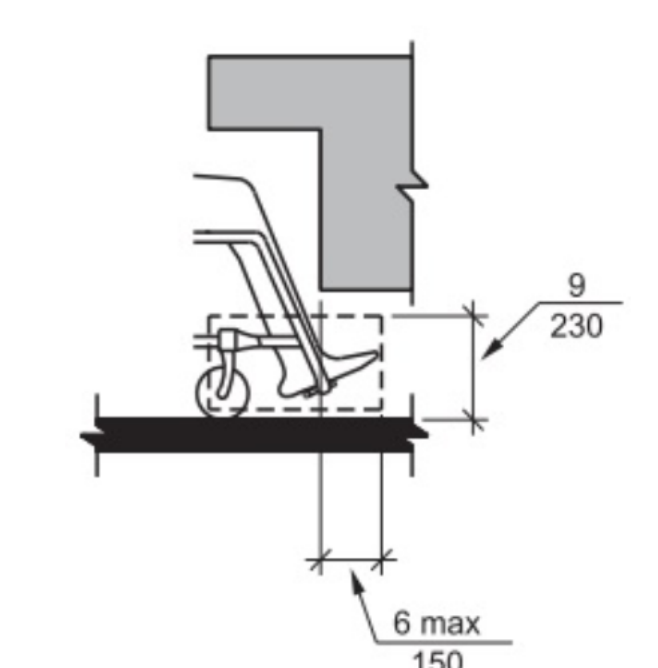
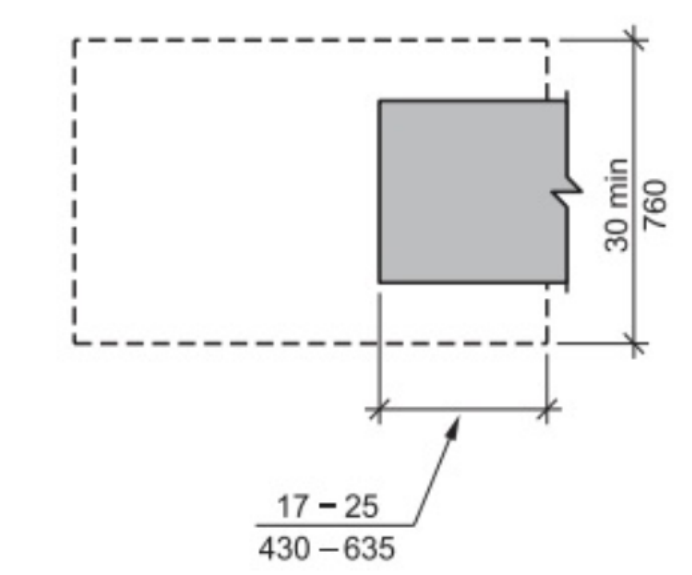
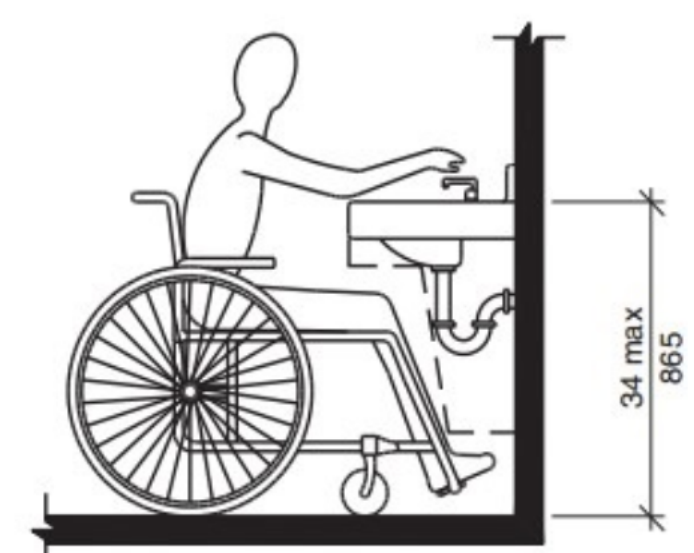
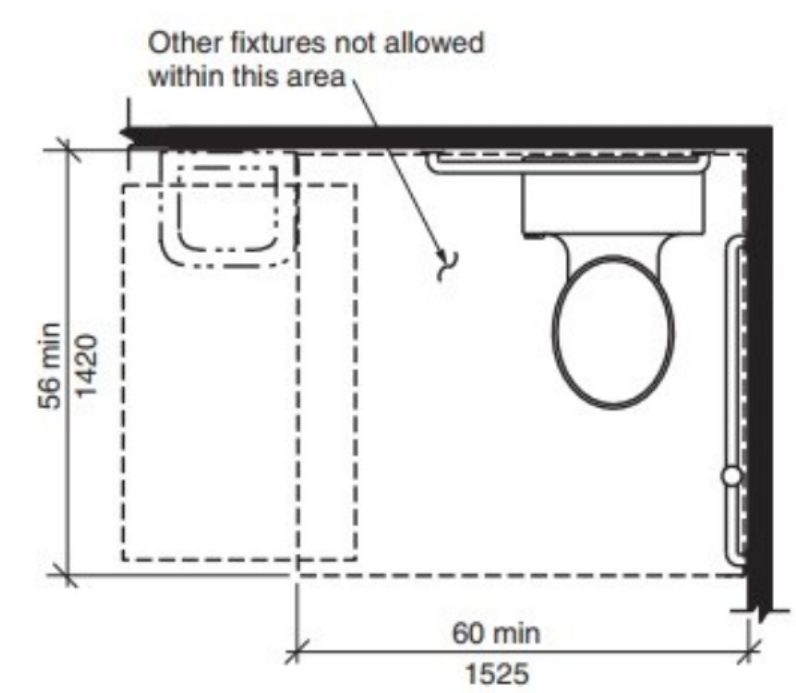


1 sidewall grab bar
A-501 NOT TO SCALE

2 toilet seat height
A-501 NOT TO SCALE

3 rear grab bar
A-501 NOT TO SCALE

4 water closet location
A-501 NOT TO SCALE



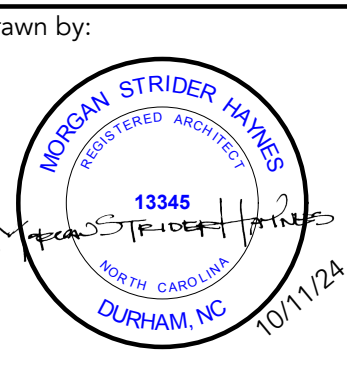
5 water closet clearances
A-501 NOT TO SCALE

6 lavatory height
A-501 NOT TO SCALE

7 toe clearance
A-501 NOT TO SCALE

8 toe clearance
A-501 NOT TO SCALE

9 knee clearance
A-501 NOT TO SCALE



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Details and Schedules

A-501