

LCCU - MORRISVILLE

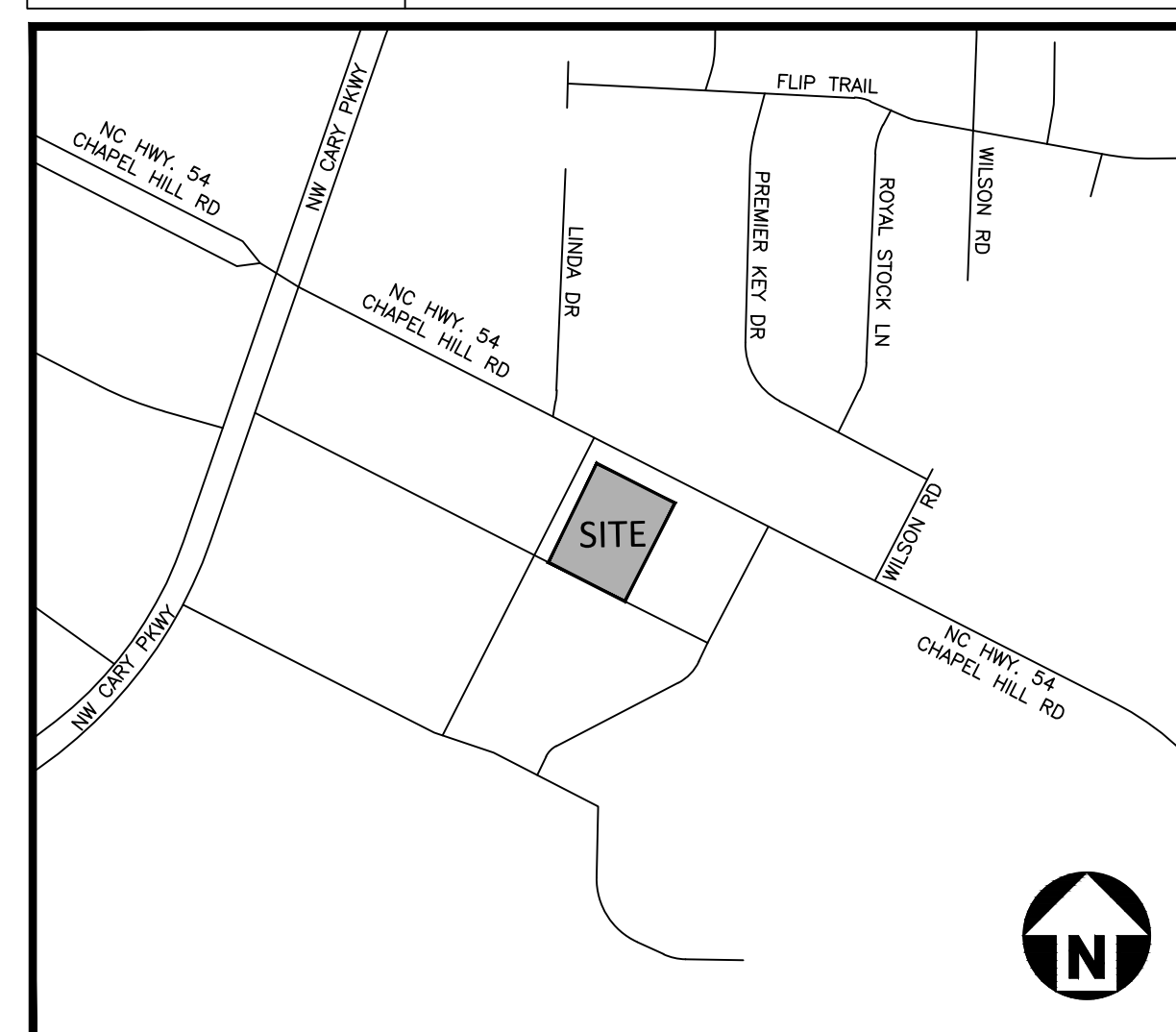
9521 CHAPEL HILL RD.
MORRISVILLE, NORTH CAROLINA 27560
WAKE COUNTY



SITE PLAN / CONSTRUCTION PLAN

TOWN OF MORRISVILLE PROJECT NUMBER: COMBO-23-0063
MCADAMS PROJECT NUMBER: LAB23003
DATE: JULY 23, 2024

SITE DATA TABLE	
OWNER/DEVELOPER	LATINO COMMUNITY CREDIT UNION 100 WEST MORGAN STREET - DURHAM, NC 27701 ETNA CLARO - 919. 595. 1733 - ETNA@LATINOCCU.ORG
SITE ADDRESS	9521 CHAPEL HILL RD., MORRISVILLE NC 27560
PIN / PARCEL ID	0754684119
TOTAL PARCEL AREA	EXISTING: 45,005 SF / 1.03 ACRES PROPOSED: 43,440 SF / 1.00 ACRES, R/W DEDICATION 1,565 SF / 0.03 ACRES
DISTURBED AREA & PROJECT AREA	1.10 ACRES
SITE LOCATED IN SPECIAL FLOOD HAZARD ZONE:	NO; ZONE "X" FEMA PANEL NUMBER 3720075400K EFFECTIVE DATE: JULY 19, 2022
ZONING	CAC (COMMUNITY ACTIVITY CENTER)
EXISTING USE	VACANT LOT
PROPOSED USE	RETAIL SALES AND SERVICE - FINANCIAL INSTITUTION WITH ATM
WATERSHED	CRABTREE CREEK
RIVER BASIN	NEUSE
BUILDING HEIGHT	MAXIMUM 70' - 0" PROPOSED 29' - 1"
BUILDING SIZE	5021 SF
BUILDING SETBACK REQUIREMENTS	REQUIRED: 30' (FRONT), 10' (SIDE), 20' (REAR) PER UDD 3.4.4.B.
LOT WIDTH	190 LF AT ROAD FRONTAGE
BIKE PARKING	REQUIRED: GREATER OF 2 OR 1 PER 50 VEHICLE PARKING SPACES PROPOSED: 4 SPACES (2 RACKS)
VEHICULAR PARKING	REQUIRED: 1 SPACE/300 SF OF FLOOR AREA = 17 SPACES ADA PARKING REQUIRED: 1 SPACE PER 25 PARKING SPACES PROPOSED 33 TOTAL SPACES (INCLUDING 2 ADA SPACES)
IMPERVIOUS SURFACE COVERAGE	EXISTING: 2,532 SF / 0.06 AC PROPOSED: 25,000 SF / 0.57 AC (57.6% OF PARCEL) (INCLUDING A FUTURE ALLOCATION OF 539 SF)
LOT COVERAGE	REQUIRED: MAXIMUM: 65% OF PARCEL PROPOSED: 5,174 SF (12% OF PARCEL) BUILDINGS 2,976 SF (7% OF PARCEL) SIDEWALKS 15,886 SF (36% OF PARCEL) PARKING/DRIVE AISLES 425 SF (1% OF PARCEL) RETAINING WALLS, ABOVE GROUND UTILITIES, AND SIGNAGE TOTAL = 24,461 SF / 0.56 AC (56.3% OF PARCEL)
DISTURBED AREA	1.10 ACRES
OPEN SPACE AREA	REQUIRED: 10%, 45,005 SF * 10% = 4,501 SF PROVIDED: 4,882 SF FORECOURT, FORMAL PLANTING, OUTDOOR DINING 10.80%
PUBLIC SANITARY SEWER LINE	TOTAL LF = 0
PUBLIC WATER LINE	TOTAL LF = 0
SANITARY SEWER SERVICES (TAPS)	0
WATER SERVICES (TAPS)	2



VICINITY MAP
SCALE: 1" = 400'

ADMIN ADJUSTMENT: ADMIN-24-0890 - ONE MEDIUM LOADING SPACE

PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN AN INCORPORATED AREA OF THE TOWN OF MORRISVILLE, LOCATED ON CHAPEL HILL ROAD, BETWEEN NORTHWEST CARY PARKWAY AND WILSON ROAD. THE CURRENT USE IS A VACANT OUTPARCEL OF PARK PLACE SHOPPING CENTER WITH MINIMAL VEGETATION ON A 1.03 ACRES LOT. A FINANCIAL SERVICES COMMERCIAL BUILDING WITH ASSOCIATED UTILITIES AND PARKING IS PROPOSED ON THIS VACANT LOT.

LOCAL PERMITTING DEPARTMENTS & CONTACTS:

- TOWN OF MORRISVILLE PLANNING DEPARTMENT
PHONE NUMBER: 919-463-6210
CONTACT: BRITTANY JOHNSON, PLANNER II - BJOHNSON@TOWNOFMORRISVILLE.ORG
- TOWN OF MORRISVILLE PUBLIC WORKS DEPARTMENT
PHONE NUMBER: 919-463-7070
CONTACT: STEVEN E. SPRUILL, ASSISTANT PUBLIC WORKS DIRECTOR - SSPRUILL@TOWNOFMORRISVILLE.ORG
- TOWN OF MORRISVILLE ENGINEERING DEPARTMENT - DEVELOPMENT SERVICES
PHONE NUMBER: 919-463-6195
CONTACT: LEVI HENRY, DEVELOPMENT SERVICES SUPERVISOR - LHENRY@TOWNOFMORRISVILLE.ORG
- TOWN OF MORRISVILLE ENGINEERING DEPARTMENT - STORMWATER
PHONE NUMBER: 919-463-6191
CONTACT: BEN MILLS, STORMWATER ENGINEERING MANAGER - BMILLS@TOWNOFMORRISVILLE.ORG
- TOWN OF MORRISVILLE INSPECTIONS DEPARTMENT
PHONE NUMBER: 919-463-6190
CONTACT: MICHAEL R. LEE, SENIOR BUILDING CODE INSPECTOR - MLEE@TOWNOFMORRISVILLE.ORG
- TOWN OF MORRISVILLE FIRE MARSHAL DEPARTMENT
PHONE NUMBER: 919-463-6931
CONTACT: CHARLES ELDRIDGE, FIRE MARSHAL - CELDRIDGE@TOWNOFMORRISVILLE.ORG
- TOWN OF CARY UTILITIES DEPARTMENT
PHONE NUMBER: 919-469-4090
CONTACT: JAMIE BISSONNETTE, PROJECT MANAGER - UTILITIES ENGINEER

NO SUBSURFACE UTILITY SURVEY (SUE) HAS BEEN PERFORMED FOR THE PREPARATION OF THESE PLANS. ADDITIONAL UNDERGROUND UTILITIES MAY BE IN THE AREA. CONTRACTOR SHALL NOTIFY "NC811" (811) OR 1-800-632-4949 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Know what's below.
Call before you dig.

SHEET INDEX

C0.00	COVER SHEET
V0.01	ALTA (BY OTHERS)
V0.02	ALTA (BY OTHERS)
V0.03	ALTA (BY OTHERS)
V0.04	ALTA (BY OTHERS)
C1.00	DEMOLITION AND TREE PROTECTION PLAN
C2.00	SITE PLAN
C2.01	PAVEMENT AND SIGNAGE PLAN
C2.02	ADA PATH
C2.03	FIRE TRUCK ACCESS PLAN
C2.04	OPEN SPACE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.01	GRADING AND DRAINAGE PLAN
C3.02	FINE GRADING PLAN
C4.00	UTILITY PLAN
C6.00	EROSION CONTROL PLAN - STAGE 1
C6.01	EROSION CONTROL PLAN - STAGE 1
C6.02	EROSION CONTROL PLAN - STAGE 2
C6.03	EROSION CONTROL PLAN - STAGE 2
C6.04	EROSION CONTROL PLAN DETAILS
C6.05	EROSION CONTROL PLAN DETAILS
C6.06	EROSION CONTROL PLAN DETAILS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	SEWER DETAILS
C8.04	DRAINAGE DETAILS
C8.05	DRAINAGE DETAILS
C9.00	SCM DETAILS
C9.01	SCM DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
SL2.0	LIGHTING PLAN

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
NC license number: C-0293, C-187
www.mcadamsco.com

CONTACT

RICK VENO
veno@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

LATINO COMMUNITY CREDIT UNION
100 WEST MORGAN STREET
DURHAM, NC 27701
PHONE: 919. 595. 1733



PROJECT DIRECTORY

DEVELOPER
LATINO COMMUNITY CREDIT UNION
100 WEST MORGAN STREET
DURHAM, NC 27701
PHONE: 919. 595. 1733

CIVIL ENGINEER
MCADAMS
ROBERT WINGATE, PE
621 HILLSBOROUGH STREET, SUITE 500
RALEIGH, NC 27603
WINGATE@MCADAMSCO.COM
PHONE: 919. 361. 5000

LANDSCAPE ARCHITECT
MCADAMS
RICHARD VENO, PLA
621 HILLSBOROUGH STREET, SUITE 500
RALEIGH, NC 27603
VENO@MCADAMSCO.COM
PHONE: 919. 361. 5000

ARCHITECT
LABELLA ASSOCIATES
BRETT WRIGHT,
400 SOUTH TRYON, SUITE 1300
CHARLOTTE, NC 28285
PHONE: 704. 941. 2115



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

SITE PLAN / CONSTRUCTION PLAN FOR:

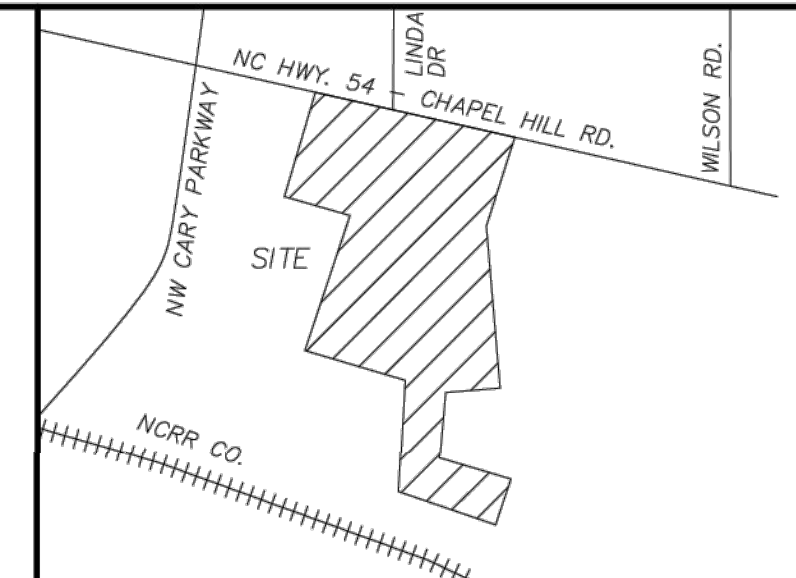
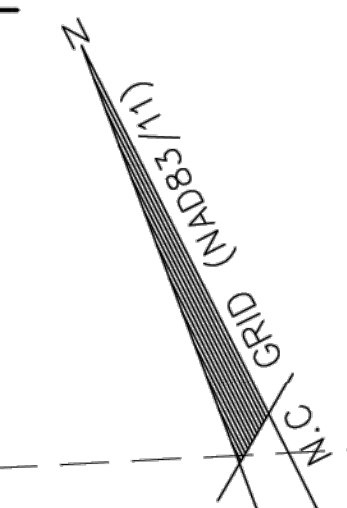
LCCU - MORRISVILLE

9521 CHAPEL HILL RD.
MORRISVILLE, NC
PROJECT NUMBER: LAB23003

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES

R/W

NC HWY. 54 - CHAPEL HILL RD.
(80' PUBLIC R/W)
CONTROL POINT # 2
REBAR/CAP
NC GRID (NAD83/11)
N 748,327.25'
E 2,056,467.72'
ELEV.=434.14'



VICINITY MAP
(NOT TO SCALE)

I, ROBIN L. LEE, PLS L-3759, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM INFORMATION SHOWN IN DEED BOOKS REFERENCED ON MAP AND MAP BOOKS REFERENCED ON MAP; THAT ANY LINES NOT ACTUALLY SURVEYED APPEAR AS BROKEN LINES AND WERE PLOTTED FROM INFORMATION AS NOTED ON THE PLAT; THAT THE RATIO OF PRECISION AS CALCULATED IS BETTER THAN 1:10,000; THAT THE AREA IS COMPUTED BY COORDINATE METHOD; THIS GPS SURVEY WAS MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORMED THE SURVEY.

CLASS OF SURVEY: AA
POSITIONAL ACCURACY: 0.026'(HORIZONTAL) AND 0.047'(VERTICAL)
TYPE OF GPS FIELD PROCEDURES: VRS TO ESTABLISH CONTROL
DATES OF THE SURVEY: 10/31-11/1/2016
LAST SITE VISIT: 01/26/23
DATUM/EPOCH: NAD 83/2011
PUBLISHED/FIXED CONTROL USE: FIXED CONTROL
GEOID MODEL: GEOID 12A
COMBINED GRID FACTOR(S): 0.999904127
UNITS: US SURVEY FEET
TYPE AND MODEL OF GPS RECEIVER USED:
ALL CONTROL POINTS AND OTHER POINTS LOCATED USING VRS WERE LOCALIZED AROUND CONTROL POINT # 2

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS DAY OF _____ A.D., 2023.

ROBIN L. LEE L-3759
PROFESSIONAL LAND SURVEYOR

I, ROBIN L. LEE, PLS L-3759 CERTIFY THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET; AND THAT THE SURVEY IS OF AN EXISTING BUILDING OR OTHER STRUCTURE, OR NATURAL FEATURE, SUCH AS A WATERCOURSE, OR AN AS-BUILT.

DATE _____

PROPERTY DATA:
NC PIN # 0754-68-419
OWNER: LATINO COMMUNITY CREDIT UNION
DEED: DB 18780 PG 1216
ADDRESS: 100 W MORGAN ST. DURHAM COUNTY, NC
PARCEL ADDRESS: 9521 CHAPEL HILL RD., MORRISVILLE, NC
ZONING: CAC (COMMUNITY ACTIVITY CENTER)
MIN. LOT SIZE - 20,000 SQ. FT.
MIN. LOT WIDTH - 150'
MAX. BUILDING COVERAGE (% OF LOT) - 65
SETBACK: FRONT - 55' (INCREASE BY 5' PER FLOOR)
SIDE - 30' (INCREASE BY 5' PER FLOOR)
REAR - 25'
CORNER SIDE - 30'
MAXIMUM HEIGHT - 25'
ZONED PROPERTY
GROUND MOUNTED SIGN ORDINANCE - 1 PER LOT
AREA - 32 SQ.FT.(OFFICE, INSTITUTIONAL, ALL OTHER)
HEIGHT - 15'
WALL MOUNTED SIGN ORDINANCE - 2 PER SINGLE TENANT BUILDING
AREA - 2 SQ.FT. PER LINEAR FOOTAGE OF BUILDING
HEIGHT - 10' FOR INSTITUTIONAL (N/A FOR ALL OTHER)
MAX. WALL COVERAGE 30% OF BUILDING OF TENANT FACADE
PARKING - (5) FULL SIZE SPACES PER 1000 SQ. FT. OF GROSS BUILDING AREA
UNLESS AUTHORIZED BY DECLARANT IN WRITING PARKING SHALL NOT BE PERMITTED:
(1) IN SETBACK AND PARKWAY OR LANDSCAPED AREAS, OR
(2) CLOSER THAN FIFTEEN (15) TO A STREET PROPERTY LINE
BORDERING STREETS, FIVE (5) FEET TO ADJACENT OWNERS PROPERTY LINE, AND FIVE (5) FEET TO THE ADJACENT SHOPPING CENTER PARKING
ZONING INFORMATION WAS TAKEN FROM THE CITY OF MORRISVILLE ZONING ORDINANCE AND RESTRICTED COVENANTS. THE SURVEYOR DOES NOT GUARANTEE NOR CERTIFY THAT HE HAS CAPTURED ALL THE REQUIREMENTS AFFECTING THIS LOT. SEE TOWN OF MORRISVILLE ZONING ORDINANCES AND RESTRICTED COVENANTS FOR ALL OTHER DESIGN STANDARDS.

- NOTE:
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET, (UNLESS OTHERWISE STATED)
 2. NO NC GRID MONUMENT IS WITHIN 2000' OF SURVEYED TRACT.
 3. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/11).
 4. THERE ARE NO BURIAL GROUNDS OR CEMETERIES VISIBLE.
 5. ALL ELEVATIONS ARE BASED ON CONTROL POINT # 2 WITH A GIVEN ELEVATION OF 434.14'(NAD83).
 6. ONE FOOT CONTOUR INTERVALS.
 7. THIS PROPERTY IS LOCATED IN FEMA FLOOD HAZARD ZONE _X_. ZONE _X_ ARE AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP 3720075400J WITH AN EFFECTIVE DATE OF 05/2/06.
 8. THIS PROPERTY IS ZONED CAC.
 9. THIS PROPERTY HAS DIRECT ACCESS TO A PUBLIC RIGHT-OF-WAY.
 10. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK.
 11. BASED ON TOWN OF MORRISVILLE FUTURE ROAD MAP THIS SECTION OF CHAPEL HILL ROAD IS PLANNED FOR SIX LANES AND BIKE LANES. INFORMATION TAKEN FROM TOWN OF MORRISVILLE PLANNING DEPARTMENT WEB SITE.

- UTILITY LEGEND**
- YARD LIGHT
 - LIGHT POLE
 - TRANSFORMER(UNLESS NOTED OTHERWISE)
 - END OF INFORMATION
 - TELEVISION FIBER OPTIC HAND HOLE
 - TELEPHONE FIBER OPTIC HAND HOLE
 - TELEVISION PEDESTAL
 - SANITARY SEWER MAN HOLE
 - CLEAN OUT
 - WATER VALVE
 - POWER POLE
 - ELECTRIC LINE
 - TELEPHONE FIBER OPTIC LINE
 - CABLE TV FIBER OPTIC LINE
 - TELEPHONE LINE
 - WATER LINE

UTILITY NOTE:
THE HORIZONTAL UNDERGROUND UTILITY LINES SHOWN REPRESENT QUALITY LEVEL B SUBSURFACE UTILITY ENGINEERING SERVICES. UTILITY MARKS PLACED ON THE GROUND BY MCKIM & CREED ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. USE OF THIS INFORMATION DOES NOT RELIEVE ANY PARTY FROM THEIR OBLIGATION TO CONTACT THE UTILITY DAMAGE PREVENTION SYSTEM BEFORE DIGGING BEGINS. THIS QUALITY LEVEL B UTILITY INVENTORY DOES NOT GUARANTEE THE EXISTENCE OF EACH UTILITY OR THAT ALL THE UNDERGROUND UTILITIES HAVE BEEN ACCOUNTED FOR. EXACT HORIZONTAL AND VERTICAL POSITIONS CAN ONLY BE VERIFIED WHERE QUALITY LEVEL A (EXPOSURES) HAVE BEEN PERFORMED. SERVICES WERE PROVIDED IN ACCORDANCE WITH THE STANDARD OF PRACTICE FOR THE SUBSURFACE UTILITY ENGINEERING PROFESSION, AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (C/ASCE 38-02).

N/E
BLUE MOUNTAIN PROPERTIES, LLC.
A NORTH CAROLINA LIMITED LIABILITY COMPANY
DB 18621, PG. 2614
BM 1997, PG. 1935
NC PIN # 0754-68-1345
ZONED CAC(COMMUNITY ACTIVITY CENTER
(RESTAURANT BUSINESS))

CONTROL POINT # 1
REBAR/CAP
ENG-GRID (NAD83/11)
N 748,132.85'
E 2,056,339.99'
ELEV.=413.86'

N/E
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10500, PG. 2379
BM 1998, PG. 1578
NC PIN # 0754-67-0901
ZONED CAC(COMMUNITY ACTIVITY CENTER
(SHOPPING CENTER BUSINESS))

- REFERENCES:**
1. DB 8520, PG. 650
 2. BM 1998, PG. 1578
 3. DB 18780, PG. 1216

- LEGEND**
- CO CLEAN-OUT
 - DB DEED BOOK
 - FEH FIRE HYDRANT
 - IFH IRON PIPE FOUND
 - YL YARD LIGHT
 - LP LIGHT POLE
 - CB CATCH BASIN
 - PKF P. K. NAIL FOUND
 - BM BOOK OF MAP
 - LSA LSA T BOOK
 - PG PAGE
 - PKS PK NAIL SET
 - POB POINT OF BEGINNING
 - PP POWER POLE
 - REB/CAP REBAR & CAP
 - R/W RIGHT OF WAY
 - SF SQUARE FEET
 - SSM SIGN MANDHOLE (SEWER)
 - TRANS TRANSFORMER
 - WATER METER
 - WATER VALVE
 - WELD SIGN
 - MONITOR WELL
 - STOP SIGN
 - SIGNAL LIGHT AHEAD
 - STREET SIGN
 - BRADFORD PEAR TREE
 - LANDSCAPE AREA
 - STOP BAR
 - ELECTRICAL BOX
 - PHONE PED
 - PHONE MANHOLE
 - SHRUBS
 - REINFORCE CONCRETE PIPE
 - CORRUGATED PIPE
 - OVERHEAD ELECTRIC
 - CABLE TV PED

UTILITIES CONTACT:
FIBER OR COPPER - AT&T - 1-803-261-4551
ELECTRIC - DUKE ENERGY - 1-800-778-9140
FIBER - EARTHLINK BUSINESS - 1-800-374-2350 EXT. 5
FIBER - MCI - 1-800-289-3427 EXT. 2
WATER AND SEWER - TOWN OF CARY - 919-621-8234
GAS - PSNC ENERGY - 1-877-778-2427
FIBER OPTIC - RALEIGH-DURHAM AIRPORT AUTHORITY - 1-919-840-7810



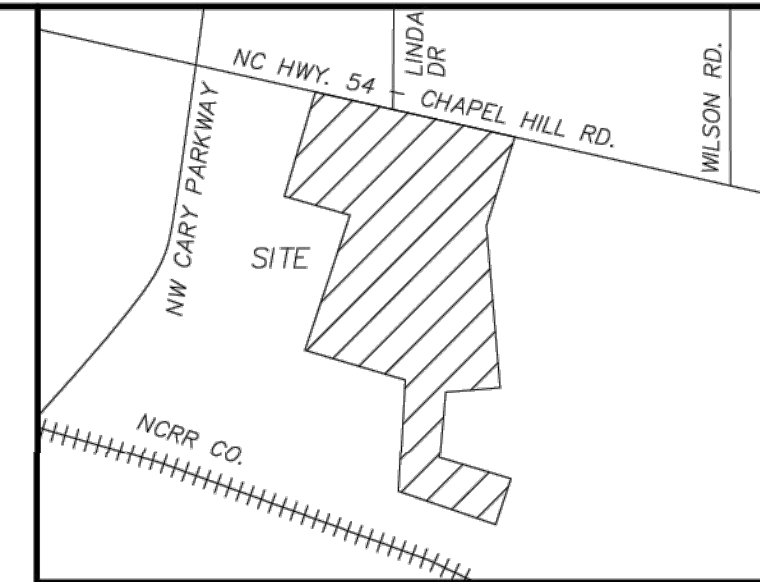
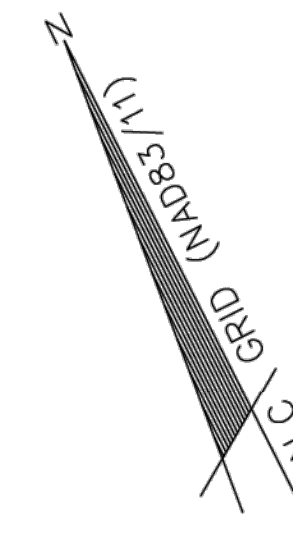
DATE	REVISION	INITIAL

MCKIM & CREED
1730 Varsity Drive Suite 500
Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
NC FIRM # F-1222
Internet Site: <http://www.mckimcreed.com>

ALTA (BY OTHERS)
V0.01
SCALE: 1" = 20'
0 10 20 40 60

BOUNDARY AND TOPOGRAPHIC SURVEY
OF
9521 CHAPEL HILL RD
FOR
LATINO COMMUNITY CREDIT UNION
DATE: 02/15/23 SCALE: 1" = 20'
CEDAR FORK TOWNSHIP WAKE COUNTY NORTH CAROLINA
PROJECT #: 08736-0001
PROJ. SVYR: RLL
DRAWN BY: SEM
FIELD BK: C-1050
COMP. FILE: VAT01-87360001-CA.DWG
SHEET #: 1 OF 4
DWG. #: R.1.4.1.491

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES



VICINITY MAP
(NOT TO SCALE)

NOTE:

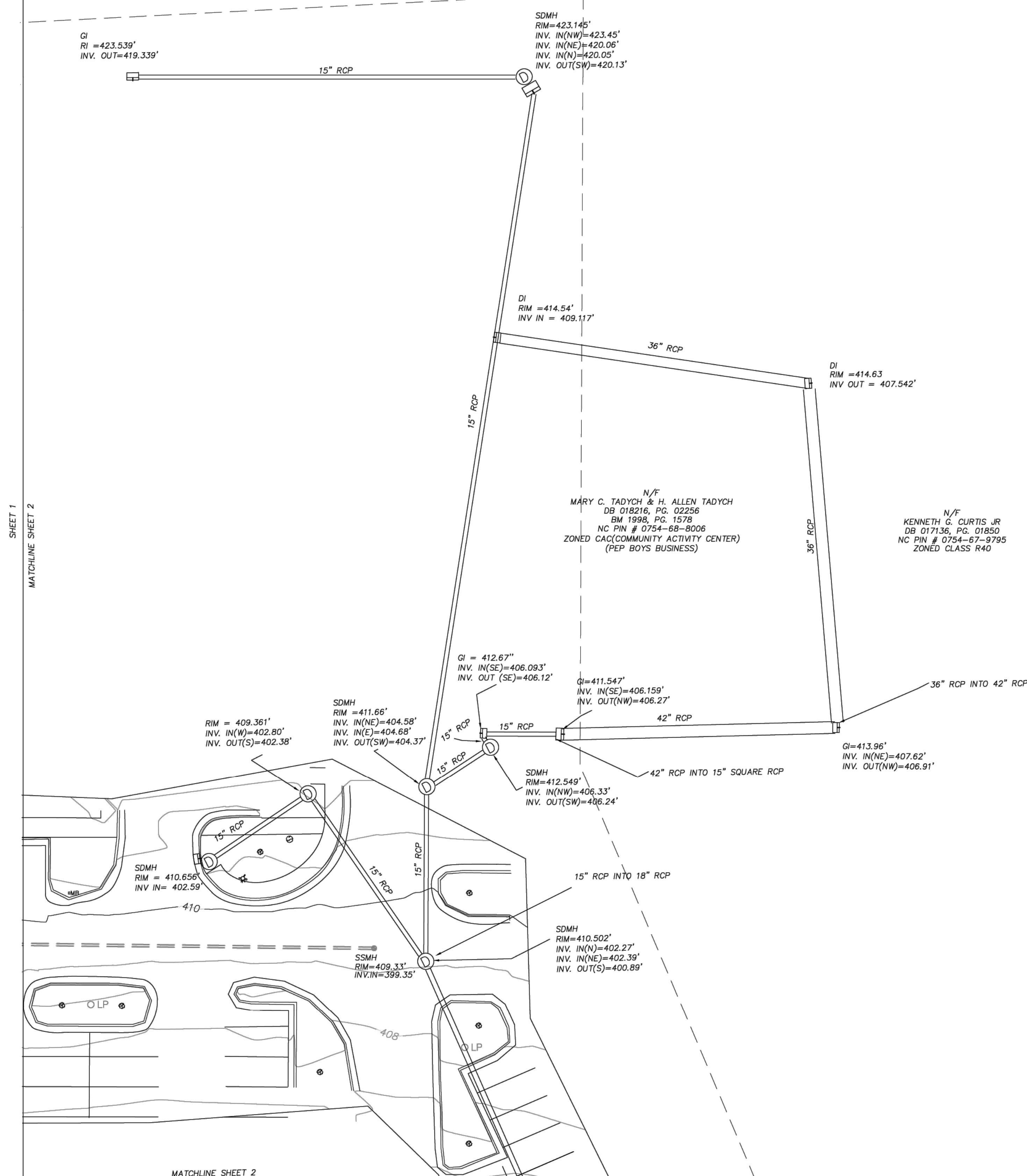
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2. NO NC GRID MONUMENT IS WITHIN 2000' OF SURVEYED TRACT.
3. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/11).
4. THERE ARE NO BURIAL GROUNDS OR CEMETERIES VISIBLE.
5. ALL ELEVATIONS ARE BASED ON CONTROL POINT # 2 WITH A GIVEN ELEVATION OF 434.14'(NAVD88).
6. ONE FOOT CONTOUR INTERVALS.
7. THIS PROPERTY IS LOCATED IN FEMA FLOOD HAZARD ZONE _X_. ZONE _X_ ARE AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP 3720075400J WITH AN EFFECTIVE DATE OF 05/2/06.
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UTILITIES CONTACT:

- FIBER OR COPPER - AT&T - 1-803-261-4551
- ELECTRIC - DUKE ENERGY - 1-800-778-9140
- FIBER - EARTHLINK BUSINESS - 1-800-374-2350 EXT. 5
- FIBER - MCI - 1-800-289-3427 EXT. 2
- WATER AND SEWER - TOWN OF CARY - 919-621-8234
- GAS - PSNC ENERGY - 1-877-776-2427
- FIBER OPTIC - RALEIGH-DURHAM AIRPORT AUTHORITY - 1-919-840-7810

UTILITY NOTE:

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SHEET 1
MATCHLINE SHEET 2

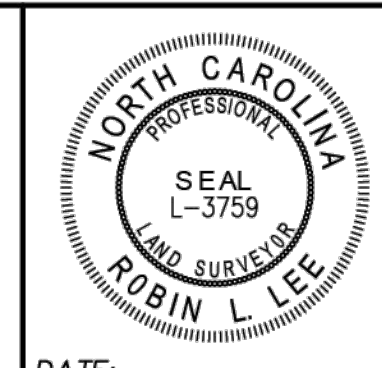
MATCHLINE SHEET 2
SHEET 3

- LEGEND
- CO CLEAN-OUT
 - DB DEED BOOK
 - FH FIRE HYDRANT
 - IPF IRON PIPE FOUND
 - YL YARD LIGHT
 - LP LIGHT POLE
 - CB CATCH BASIN
 - PKF P. K. NAIL FOUND
 - BM BOOK OF MAP
 - PB PLAT BOOK
 - PG PAGE
 - PKS PK NAIL SET
 - PDB POINT OF BEGINNING
 - PP POWER POLE
 - REB/CAP REBAR & CAP
 - R/W RIGHT OF WAY
 - SF SQUARE FEET
 - SSMH MANHOLE (SEWER)
 - TRANS TRANSFORMER
 - WM WATER METER
 - WV WATER VALVE
 - YS YIELD SIGN
 - MW MONITOR WELL
 - SS STOP SIGN
 - SSS SIGNAL LIGHT AHEAD
 - STS STREET SIGN
 - BP BRADFORD PEAR TREE
 - LSA LANDSCAPE AREA
 - STOP BAR
 - EB ELECTRICAL BOX
 - PH PHONE PED
 - PHM PHONE MANHOLE
 - SHR SHRUBS
 - RCP REINFORCE CONCRETE PIPE
 - CMP CORRUGATED PIPE
 - OHE OVERHEAD ELECTRIC
 - CABLE TV PED

- UTILITIES CONTACT:
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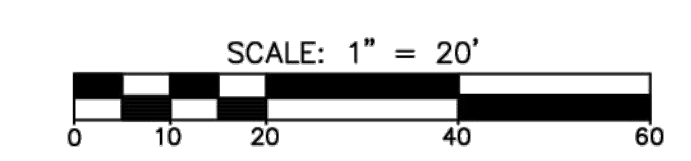
DATE	REVISION	INITIAL

MCKIM & CREED
1730 Varsity Drive Suite 500
Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
NC FIRM # F-1222
Internet Site: <http://www.mckimcreed.com>



BOUNDARY AND TOPOGRAPHIC SURVEY
OF
9521 CHAPEL HILL RD
FOR
LATINO COMMUNITY CREDIT UNION
DATE: 02/15/23 SCALE: 1" = 20'
CEDAR FORK TOWNSHIP WAKE COUNTY NORTH CAROLINA

PROJECT #: 08736-0001
PROJ. SVYR: RLL
DRAWN BY: SEM
FIELD BK: C-1050
COMP. FILE: VA101-87360001-CA.DWG
SHEET #: 2 OF 4
DWG. #: R.1.4.1.491



ALTA (BY OTHERS)
V0.02

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCE, OR SALES

SHEET 1

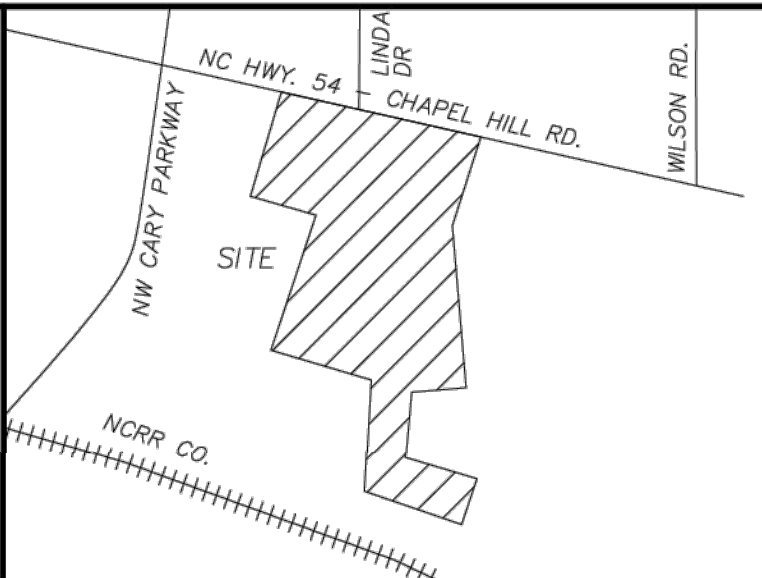
MATCHLINE SHEET 3

SHEET 2

MATCHLINE SHEET 3

N/F
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10500, PG. 2379
BM 1998, PG. 1578
NC PIN # 0754-67-6745
ZONED CAC(COMMUNITY ACTIVITY CENTER)
(THEATRE BUSINESS)

N/F
KENNETH G. CURTIS JR
DB 017136, PG. 01850
NC PIN # 0754-67-9795
ZONED CLASS R40



VICINITY MAP
(NOT TO SCALE)

UTILITY NOTE:

THE HORIZONTAL UNDERGROUND UTILITY LINES SHOWN REPRESENT QUALITY LEVEL B SUBSURFACE UTILITY ENGINEERING SERVICES. UTILITY MARKS PLACED ON THE GROUND BY MCKIM & CREED ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. USE OF THIS INFORMATION DOES NOT RELIEVE ANY PARTY FROM THEIR OBLIGATION TO CONTACT THE UTILITY DAMAGE PREVENTION SYSTEM BEFORE DIGGING BEGINS. THIS QUALITY LEVEL B UTILITY INVENTORY DOES NOT GUARANTEE THE EXISTENCE OF EACH UTILITY OR THAT ALL THE UNDERGROUND UTILITIES HAVE BEEN ACCOUNTED FOR. EXACT HORIZONTAL AND VERTICAL POSITIONS CAN ONLY BE VERIFIED WHERE QUALITY LEVEL A (EXPOSURES) HAVE BEEN PERFORMED. SERVICES WERE PROVIDED IN ACCORDANCE WITH THE STANDARD OF PRACTICE FOR THE SUBSURFACE UTILITY ENGINEERING PROFESSION, AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (C/ASCE 38-02).

NOTE:

1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
2. NO NC GRID MONUMENT IS WITHIN 2000' OF SURVEYED TRACT.
3. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/11).
4. THERE ARE NO BURIAL GROUNDS OR CEMETERIES VISIBLE.
5. ALL ELEVATIONS ARE BASED ON CONTROL POINT # 2 WITH A GIVEN ELEVATION OF 434.14'(NAVD88).
6. ONE FOOT CONTOUR INTERVALS.
7. THIS PROPERTY IS LOCATED IN FEMA FLOOD HAZARD ZONE X-1. ZONE X-1 ARE AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP 3720075400J WITH AN EFFECTIVE DATE OF 05/2/06.
8. THIS PROPERTY IS ZONED CAC.
9. THIS PROPERTY HAS DIRECT ACCESS TO A PUBLIC RIGHT-OF-WAY.
10. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK.
11. BASED ON TOWN OF MORRISVILLE FUTURE ROAD MAP THIS SECTION OF CHAPEL HILL ROAD IS PLANNED FOR SIX LANES AND BIKE LANES. INFORMATION TAKEN FROM TOWN OF MORRISVILLE PLANNING DEPARTMENT WEB SITE.

LEGEND

CO	CLEAN-OUT
DB	DEED BOOK
FFH	FIRE HYDRANT
IPF	IRON PIPE FOUND
YL	YARD LIGHT
LP	LIGHT POLE
CB	CATCH BASIN
PKF	P. K. NAIL FOUND
BM	BOOK OF MAP
PB	PLAT BOOK
PG	PAGE
PKS	PK NAIL SET
PDB	POINT OF BEGINNING
PP	POWER POLE
REB/CAP	REBAR & CAP
R/W	RIGHT OF WAY
SF	SQUARE FEET
SSMH	MANHOLE (SEWER)
TRANS	TRANSFORMER
W	WATER METER
WV	WATER VALVE
YS	YIELD SIGN
MW	MONITOR WELL
SS	STOP SIGN
SSS	SIGNAL LIGHT AHEAD
STS	STREET SIGN
BP	BRADFORD PEAR TREE
LSA	LANDSCAPE AREA
SB	STOP BAR
EB	ELECTRICAL BOX
PH	PHONE PED
PM	PHONE MANHOLE
S	SHRUBS
RCP	REINFORCE CONCRETE PIPE
CMP	CORRUGATED PIPE
OHE	OVERHEAD ELECTRIC
CTV	CABLE TV PED

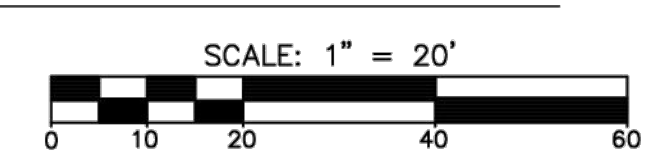
UTILITIES CONTACT:
FIBER OR COPPER - AT&T - 1-803-261-4551
ELECTRIC - DUKE ENERGY - 1-800-778-9140
FIBER - EARTHLINK BUSINESS - 1-800-374-2350 EXT. 5
FIBER - MD - 1-800-289-3427 EXT. 2
WATER AND SEWER - TOWN OF CARY - 919-621-8234
GAS - PSNC ENERGY - 1-877-776-2427
FIBER OPTIC - RALEIGH-DURHAM AIRPORT AUTHORITY - 1-919-840-7810

DATE	REVISION	INITIAL

1730 Varsity Drive Suite 500
Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
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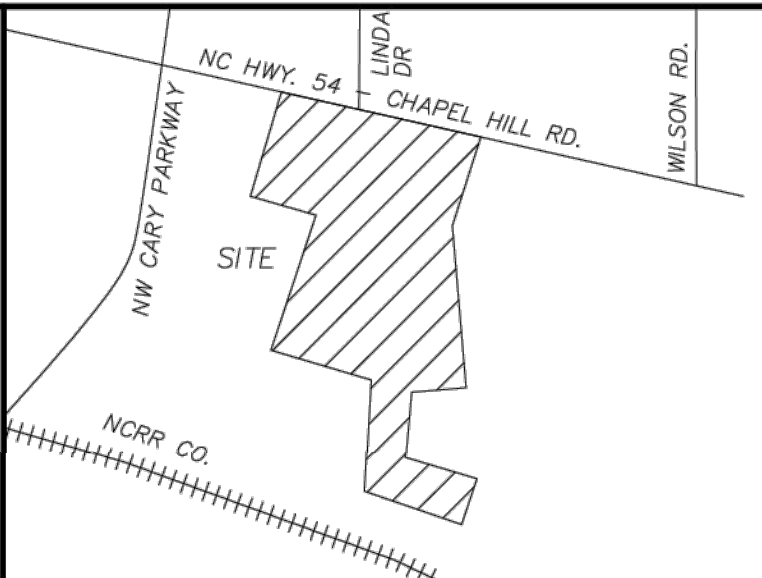
BOUNDARY AND TOPOGRAPHIC SURVEY
OF
9521 CHAPEL HILL RD
FOR
LATINO COMMUNITY CREDIT UNION
DATE: 02/15/23 SCALE: 1" = 20'
CEDAR FORK TOWNSHIP WAKE COUNTY NORTH CAROLINA

PROJECT #: 08736-0001
PROJ. SVYR: RLL
DRAWN BY: SEM
FIELD BK.: C-1050
COMP. FILE: VA101-87360001-CA.DWG
SHEET #: 3 OF 4
DWG. #: R.1.4.1.491

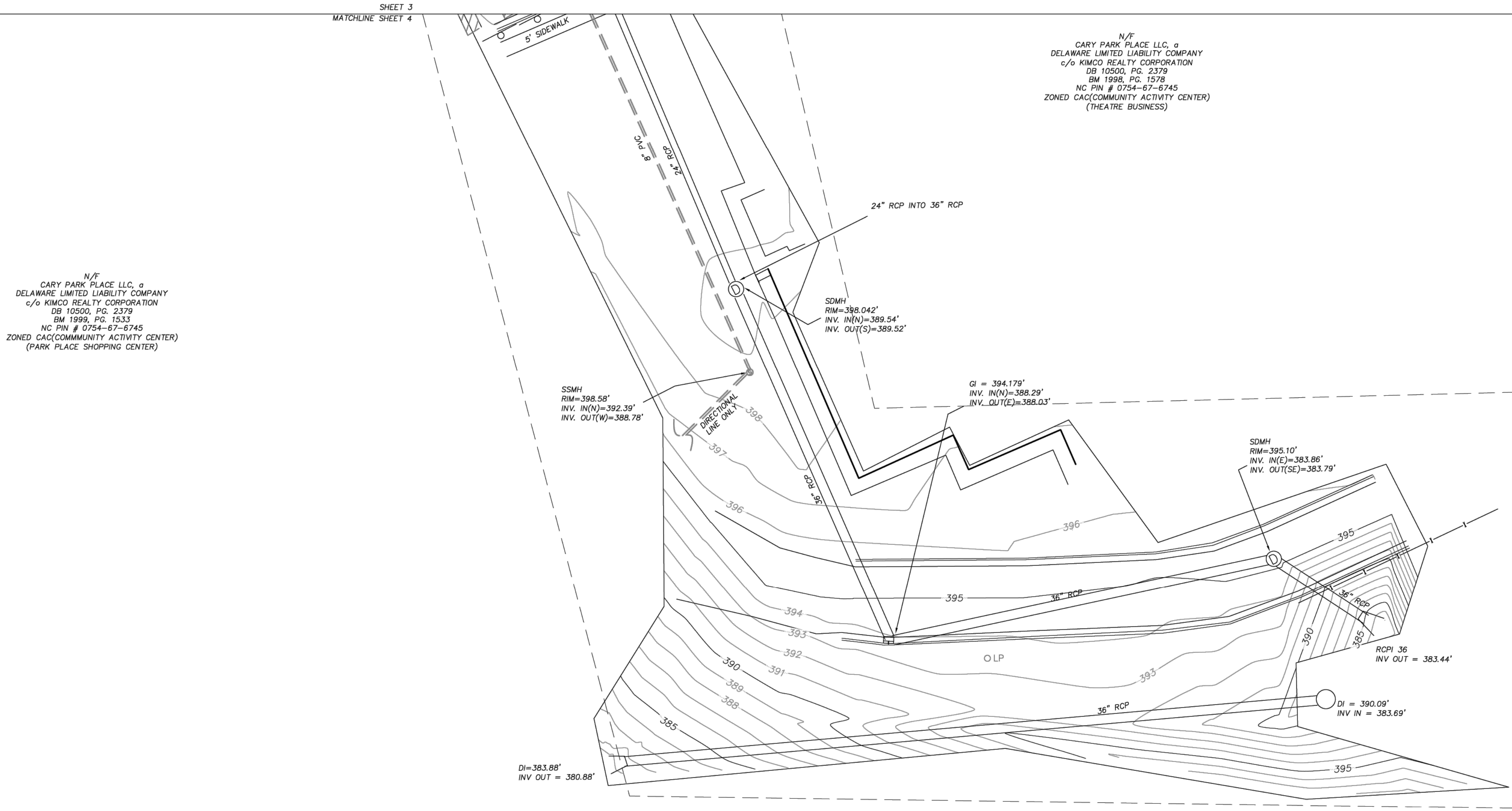


ALTA (BY OTHERS)

V0.03

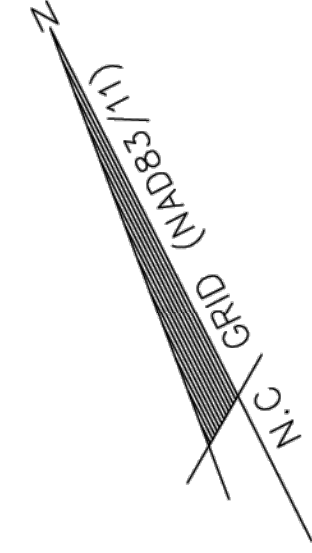


VICINITY MAP
(NOT TO SCALE)



N/F
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10500, PG. 2379
BM 1999, PG. 1533
NC PIN # 0754-67-6745
ZONED CAC(COMMUNITY ACTIVITY CENTER)
(PARK PLACE SHOPPING CENTER)

N/F
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10500, PG. 2379
BM 1999, PG. 1533
NC PIN # 0754-67-6745
ZONED CAC(COMMUNITY ACTIVITY CENTER)
(THEATRE BUSINESS)



UTILITY NOTE:
THE HORIZONTAL UNDERGROUND UTILITY LINES SHOWN REPRESENT QUALITY LEVEL B SUBSURFACE UTILITY ENGINEERING SERVICES. UTILITY MARKS PLACED ON THE GROUND BY MCKIM & CREED ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. USE OF THIS INFORMATION DOES NOT RELIEVE ANY PARTY FROM THEIR OBLIGATION TO CONTACT THE UTILITY DAMAGE PREVENTION SYSTEM BEFORE DIGGING BEGINS. THIS QUALITY LEVEL B UTILITY INVENTORY DOES NOT GUARANTEE THE EXISTENCE OF EACH UTILITY OR THAT ALL THE UNDERGROUND UTILITIES HAVE BEEN ACCOUNTED FOR. EXACT HORIZONTAL AND VERTICAL POSITIONS CAN ONLY BE VERIFIED WHERE QUALITY LEVEL A (EXPOSURES) HAVE BEEN PERFORMED. SERVICES WERE PROVIDED IN ACCORDANCE WITH THE STANDARD OF PRACTICE FOR THE SUBSURFACE UTILITY ENGINEERING PROFESSION, AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA (CI/ASCE 38-02).

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LEGEND

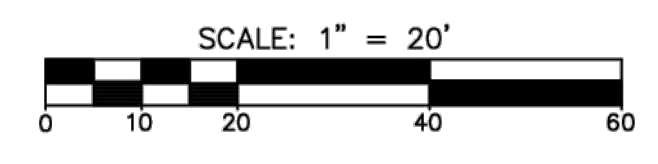
CO	CLEAN-OUT
DB	DEED BOOK
FDH	FIRE HYDRANT
IPF	IRON PIPE FOUND
YL	YARD LIGHT
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S	SHRUBS
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PRELIMINARY PLAT
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DATE	REVISION	INITIAL

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Raleigh, North Carolina 27606
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BOUNDARY AND TOPOGRAPHIC SURVEY
OF
9521 CHAPEL HILL RD
FOR
LATINO COMMUNITY CREDIT UNION
DATE: 02/15/23 SCALE: 1" = 20'
CEDAR FORK TOWNSHIP WAKE COUNTY NORTH CAROLINA

ALTA (BY OTHERS)
V0.04
PROJECT #: 08736-0001
PROJ. SVYR: RLL
DRAWN BY: SEM
FIELD BK: C-1050
COMP. FILE: VA101-87360001-CA.DWG
SHEET #: 4 OF 4
DWG. #: R.1.4.1.491

DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

RIGHT-OF-WAY OBSTRUCTION NOTES:

- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO THE TOWN OF MORRISVILLE.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES, NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

DEMOLITION NOTES:

- IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY AN ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE LOCAL AND STATE MUNICIPALITY DEPARTMENT OF HEALTH AND HUMAN SERVICES.
- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- CONTRACTOR TO COORDINATOR UTILITY CUT OFF TO EXISTING STRUCTURES WITH APPROPRIATE UTILITY COMPANY.
- MATERIALS, FURNISHINGS, UTILITIES, PAVEMENT, AND LANDSCAPING THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

TRAFFIC CONTROL NOTES:

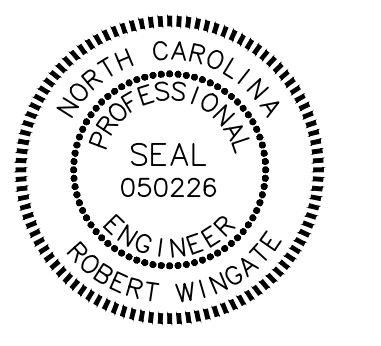
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
NC license number: C-0293, C-187
www.mcadamsco.com

CLIENT
LATINO COMMUNITY CREDIT UNION
100 WEST MORGAN STREET
DURHAM, NC 27701
PHONE: 919. 595. 1733



LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



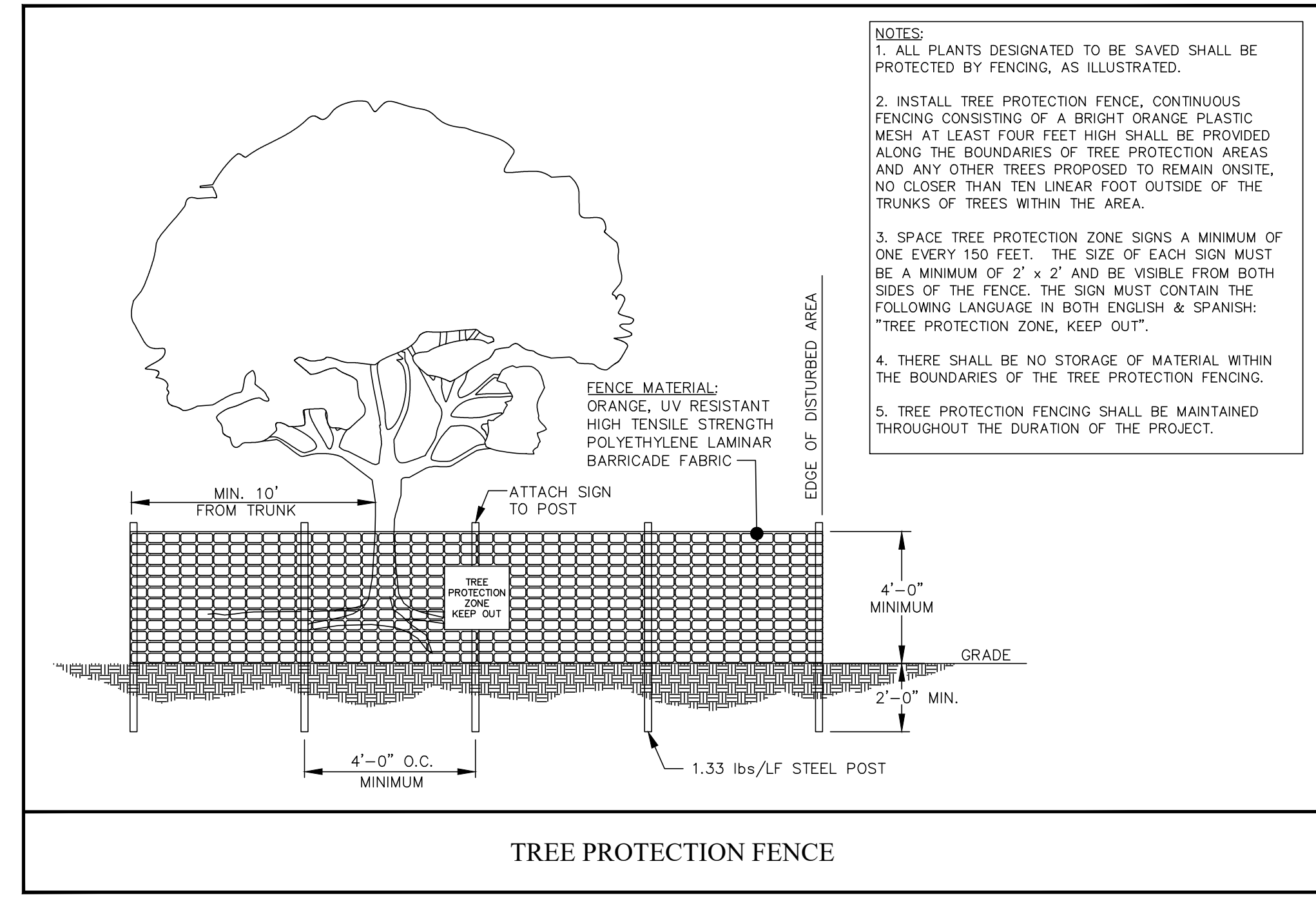
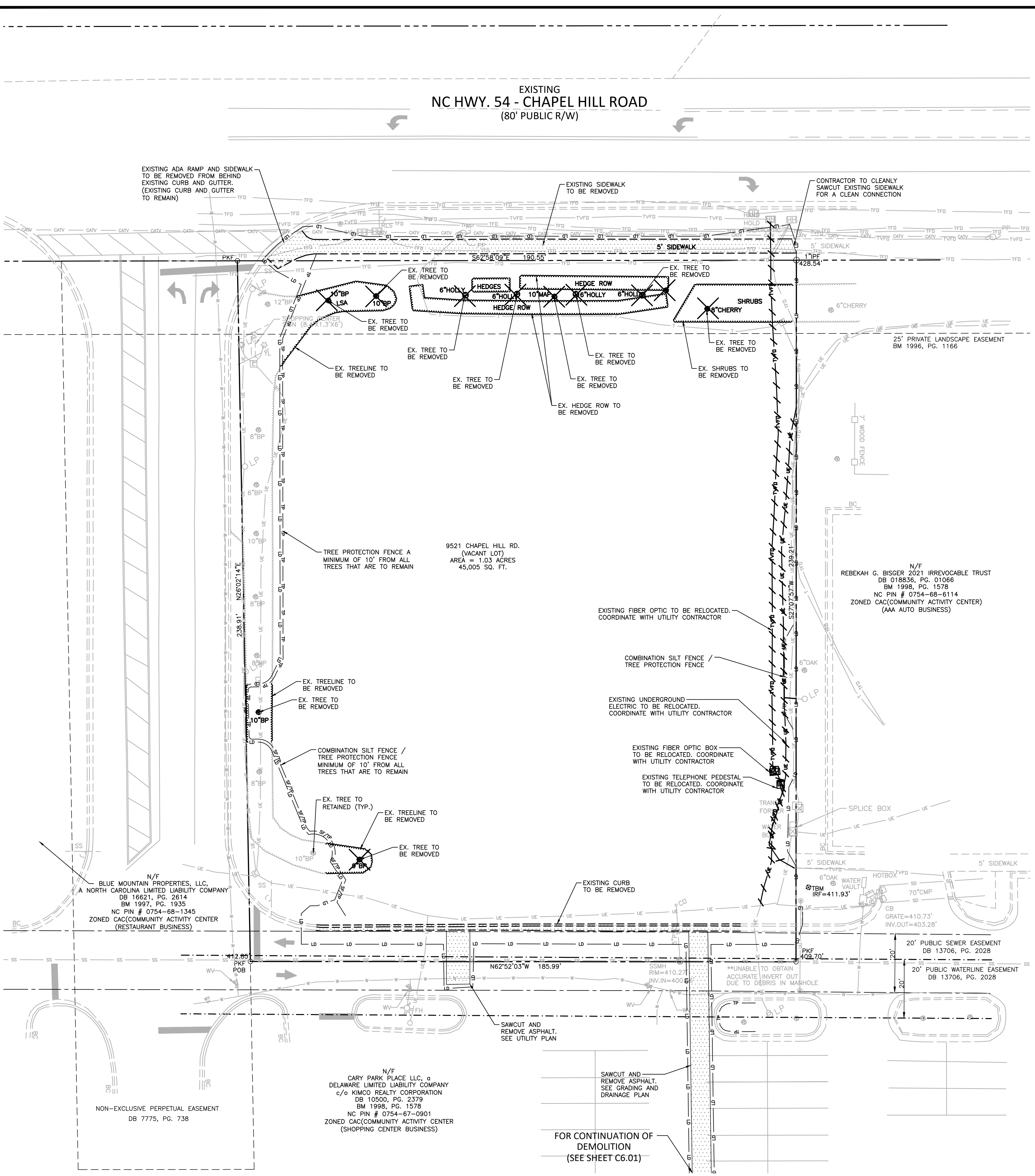
REVISIONS

NO.	DATE	DESCRIPTION
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2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

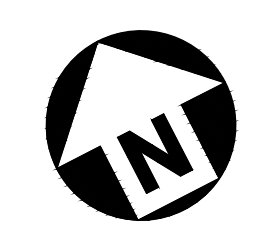
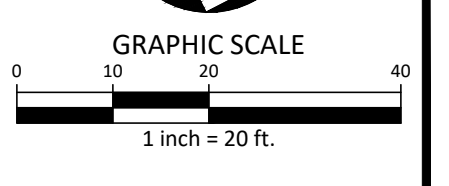
PROJECT NO.	LAB23003
FILENAME	LAB23003DM1
CHECKED BY	RTW
DRAWN BY	MJD
SCALE	1" = 20'
DATE	07.23.2024

DEMOLITION AND TREE PROTECTION PLAN
C1.00



- NOTES:**
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE, CONTINUOUS FENCING CONSISTING OF A BRIGHT ORANGE PLASTIC MESH AT LEAST FOUR FEET HIGH SHALL BE PROVIDED ALONG THE BOUNDARIES OF TREE PROTECTION AREAS AND ANY OTHER TREES PROPOSED TO REMAIN ON SITE, NO CLOSER THAN TEN LINEAR FOOT OUTSIDE OF THE TRUNKS OF TREES WITHIN THE AREA.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 150 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

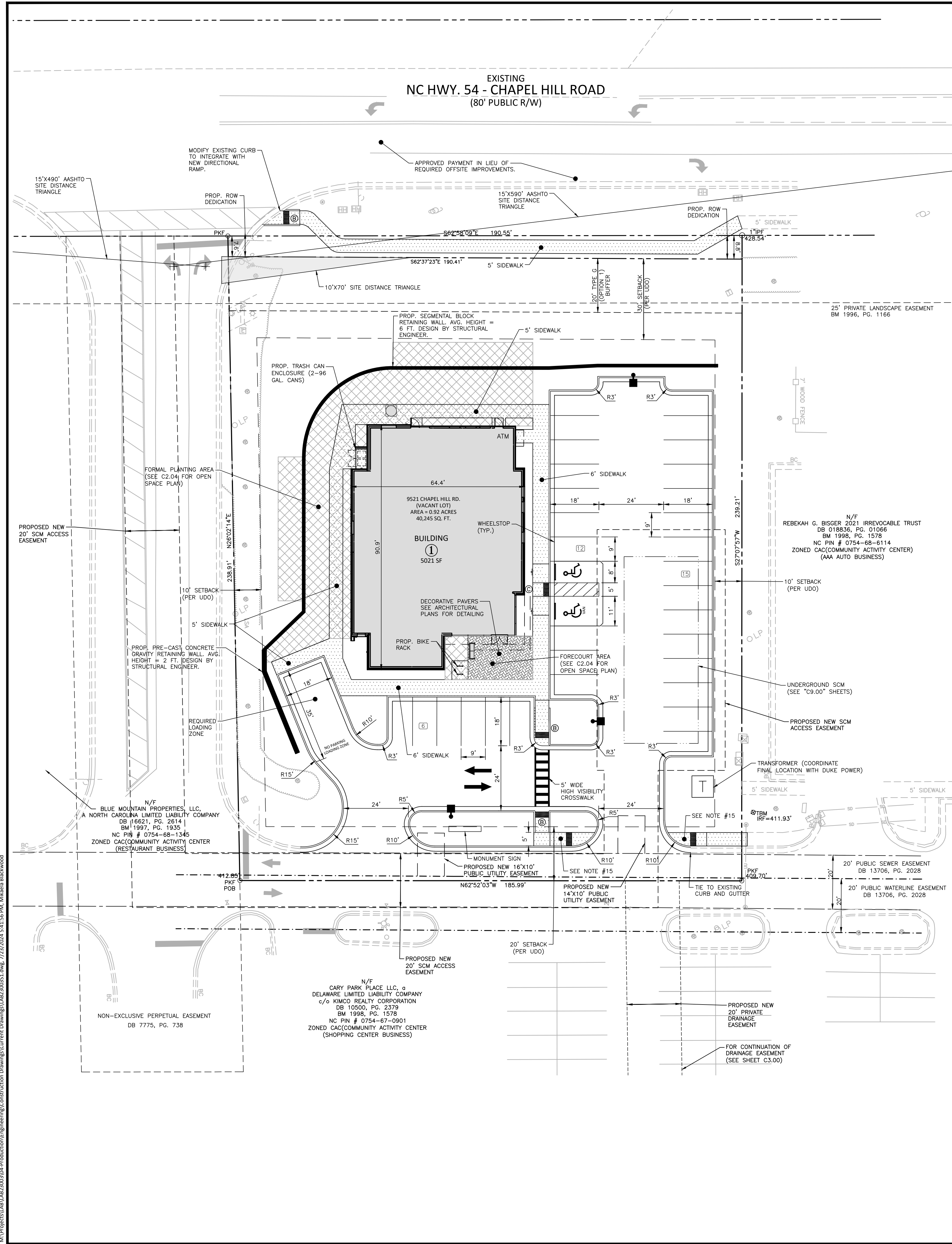
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

FINAL DRAWING - RELEASED FOR CONSTRUCTION

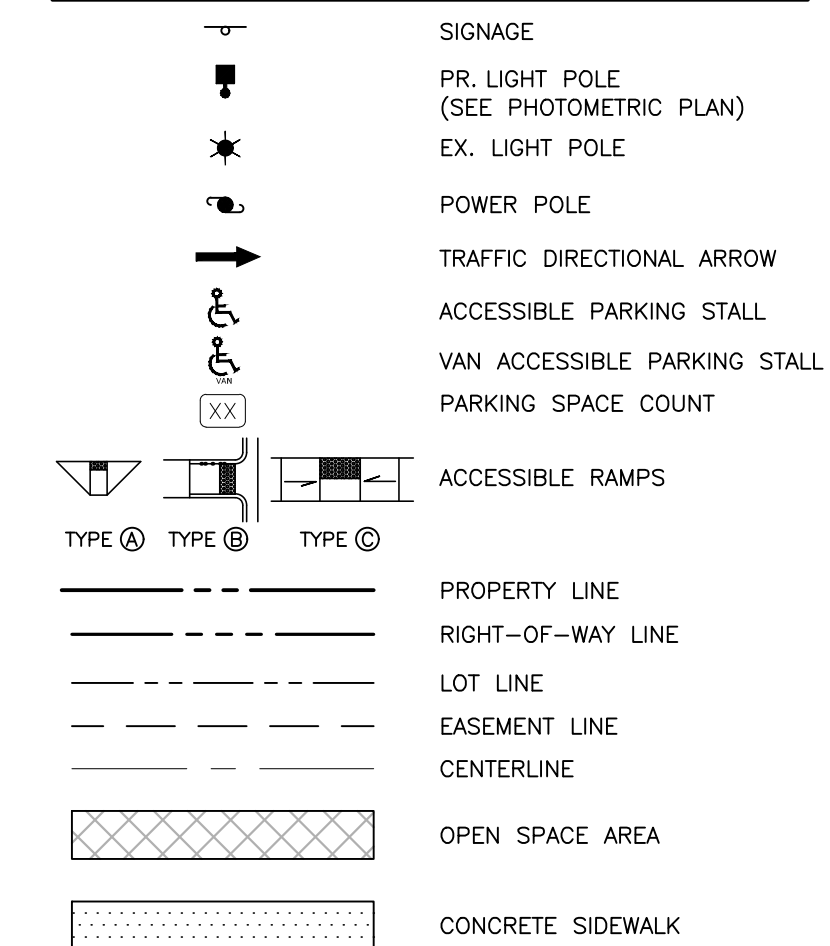
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SITE DATA TABLE

OWNER/DEVELOPER	LATINO COMMUNITY CREDIT UNION 100 WEST MORGAN STREET - DURHAM, NC 27701 ETNA CLARO - 919.595.1733 - ETNA@LATINOCU.ORG
SITE ADDRESS	9521 CHAPEL HILL RD., MORRISVILLE NC 27560
PIN / PARCEL ID	0754684119
TOTAL PARCEL AREA	EXISTING: 45,005 SF / 1.03 ACRES PROPOSED: 43,440 SF / 1.00 ACRES, R/W DEDICATION 1,565 SF / 0.03 ACRES
DISTURBED AREA & PROJECT AREA	1.10 ACRES
SITE LOCATED IN SPECIAL FLOOD HAZARD ZONE:	NO; ZONE "X" FEMA PANEL NUMBER 3720075400K EFFECTIVE DATE: JULY 19, 2022
ZONING	CAC (COMMUNITY ACTIVITY CENTER)
EXISTING USE	VACANT LOT
PROPOSED USE	RETAIL SALES AND SERVICE - FINANCIAL INSTITUTION WITH ATM
WATERSHED	CRABTREE CREEK
RIVER BASIN	NEUSE
BUILDING HEIGHT	MAXIMUM 70' - 0" PROPOSED 29' - 1"
BUILDING SIZE	5021 SF
BUILDING SETBACK REQUIREMENTS	REQUIRED: 30' (FRONT), 10' (SIDE), 20' (REAR) PER UDO 3.4.4.B
LOT WIDTH	190 LF AT ROAD FRONTAGE
BIKE PARKING	REQUIRED: GREATER OF 2 OR 1 PER 50 VEHICLE PARKING SPACES PROPOSED: 4 SPACES (2 RACKS)
VEHICULAR PARKING	REQUIRED: 1 SPACE/300 SF OF FLOOR AREA = 17 SPACES ADA PARKING REQUIRED: 1 SPACE PER 25 PARKING SPACES PROPOSED 33 TOTAL SPACES (INCLUDING 2 ADA SPACES)
IMPERVIOUS SURFACE COVERAGE	EXISTING: 2,532 SF / 0.06 AC PROPOSED: 25,000 SF / 0.57 AC (57.6% OF PARCEL) (INCLUDING A FUTURE ALLOCATION OF 539 SF)
LOT COVERAGE	REQUIRED: MAXIMUM: 65% OF PARCEL PROPOSED: 5,174 SF (12% OF PARCEL) BUILDINGS 2,976 SF (7% OF PARCEL) SIDEWALKS 15,886 SF (36% OF PARCEL) PARKING/DRIVE AISLES 425 SF (1% OF PARCEL) RETAINING WALLS, ABOVE GROUND UTILITIES, AND SIGNAGE TOTAL = 24,461 SF / 0.56 AC (56.3% OF PARCEL)
DISTURBED AREA	1.10 ACRES
OPEN SPACE AREA	REQUIRED: 10%, 45,005 SF * 10% = 4,501 SF PROVIDED: 4,882 SF FORECOURT, FORMAL PLANTING, OUTDOOR DINING 10.80%
PUBLIC SANITARY SEWER LINE	TOTAL LF = 0
PUBLIC WATER LINE	TOTAL LF = 0
SANITARY SEWER SERVICES (TAPS)	0
WATER SERVICES (TAPS)	2

SITE LEGEND



SITE PLAN NOTES:

- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR 1-800-632-4949 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF MORRISVILLE PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO COMPLY WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS PLAN SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF TOWN OF MORRISVILLE AND NORTH CAROLINA SPECIFICATIONS AND STANDARDS.
- SIGNS TO BE PERMITTED BY A SIGN COMPANY.
- CONTRACTOR TO CONFIRM LIGHT BASE SIZE. BASES ARE TO BE SET BACK A MINIMUM OF 3 FEET CLEAR FROM BACK OF CURB.
- NC DOT TYPE 1 ADA RAMP, SEE SHEET C8.01 FOR DETAIL.
- A WAIVER FOR A LOADING SPACE WAS GRANTED BY THE PLANNING DIRECTOR ON MARCH 27, 2024 IN ACCORDANCE WITH SECTION 5.10.4.A.3 OF THE UDO. (ADMIN-24-0790)

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LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	LAB23003
FILENAME	LAB23003S1
CHECKED BY	RTW
DRAWN BY	MJD
SCALE	1" = 20'
DATE	07.23.2024

SHEET

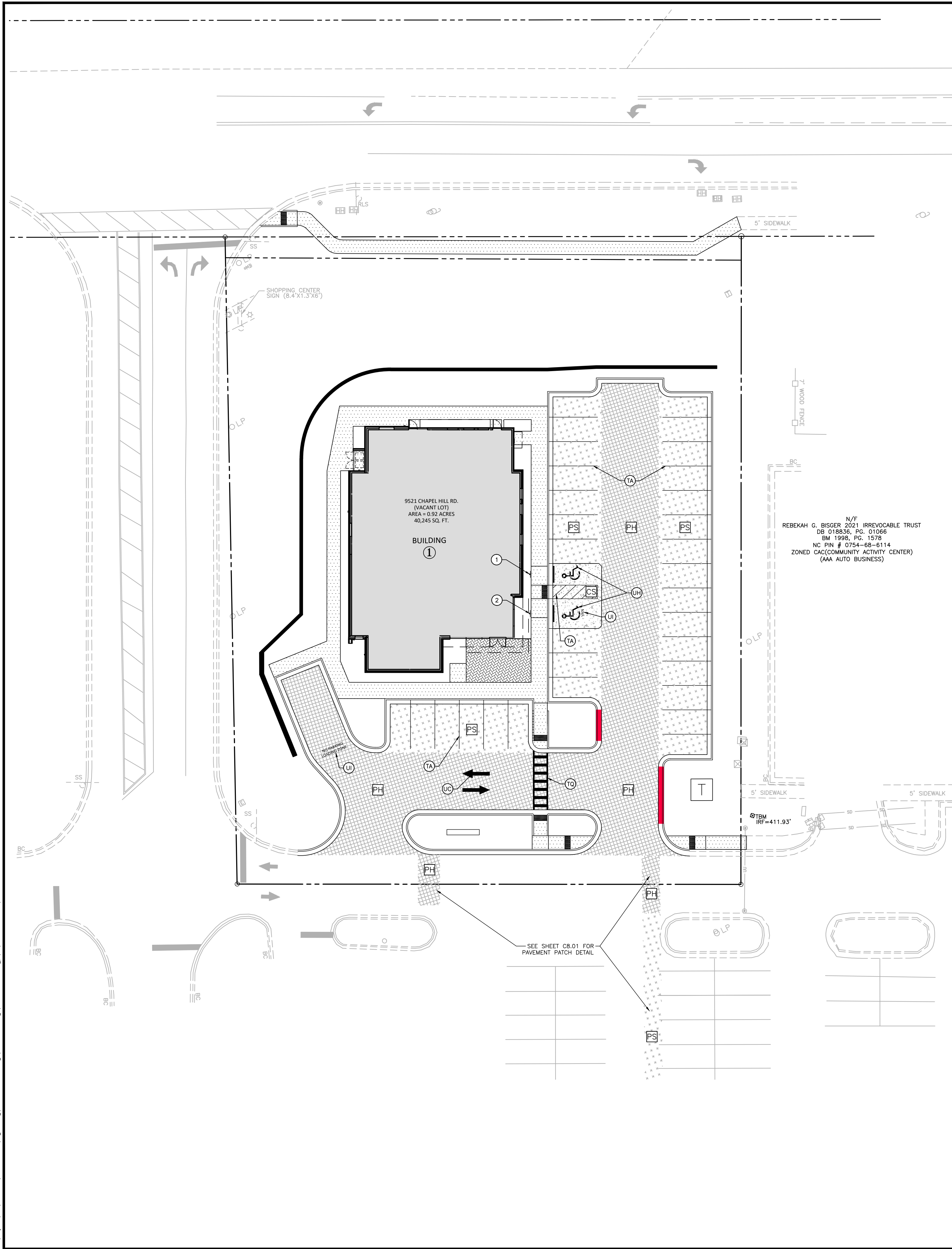
SITE PLAN

C2.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\LAB23003\04-Production\Engineering\Construction\Drawings\LAB23003S1.dwg, 7/23/2024, 5:41:56 PM, Mikaela Blackwood



PAVEMENT LEGEND:

	CS STANDARD DUTY CONCRETE PAVEMENT
	PS STANDARD ASPHALT PAVEMENT
	PH HEAVY DUTY ASPHALT PAVEMENT

	CONCRETE (4,000 PSI W/ MEDIUM BROOM FINISH)	5.0" W / 6X6 W1.4XW1.4 W.W.F	6.0" W / 6X6 W1.4XW1.4 W.W.F
	CRUSHED AGGREGATE BASE COURSE (ABC) PER 520 NCDOT STANDARD SPEC.	4.0"	4.0"
COMPACTED SUBGRADE TO 98% DRY DENSITY, STANDARD PROCTOR ASTM D698			

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS**
- (T2) 24" WHITE STOPBAR
 - (TA) 4" WHITE
 - (T8) 8" WHITE CROSSWALK LINE
 - (T12) 12" WHITE DIAGONAL
- ARROWS/CHARACTERS**
- (HP) HANDICAP PARKING
 - (UC) STRAIGHT ARROW
 - (U) ALPHANUMERIC CHARACTER (18" HEIGHT)

CONCRETE PAVEMENT SECTIONS

	SUPERPAVE SURFACE COURSE	2.0"	2.0"
	SUPERPAVE INTERMEDIATE COURSE	-	2.0"
CRUSHED AGGREGATE BASE COURSE (ABC) PER 520 NCDOT STANDARD SPEC.		6.0"	8.0"
12" MIN. COMPACTED SUBGRADE TO 98% DRY DENSITY, STANDARD PROCTOR ASTM D698			

ASPHALT PAVEMENT SECTIONS

N.T.S.

SHADING ALONG CURB INDICATES WHERE CURB SHALL BE CONTINUOUSLY MARKED WITH THERMO PLASTIC RED CURB ALONG THE FIRE LANE WITH WHITE "NO PARKING-FIRE LANE" PRINTED WITH A MINIMUM 8" HIGH LETTERS AT 40' INTERVALS OR AS DIRECTED BY THE FIRE MARSHAL.

HEAVY DUTY ASPHALT PAVEMENT

SIGN LEGEND:

- ① RESERVED PARKING (HANDICAP)
 - ② RESERVED PARKING (VAN ACCESSIBLE)
- MUTCD R7-8 18"x12"
R7-8 18"x12" & R7-8A 18"x9"

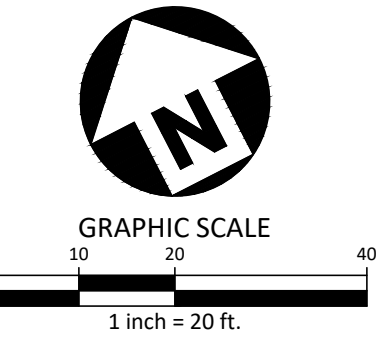
GENERAL PAVEMENT AND MARKING NOTES:

- CONTRACTOR TO VERIFY CONCRETE PAD FOR TRANSFORMER. TRANSFORMER PAD SHALL BE STANDARD LIGHT DUTY CONCRETE UNLESS OTHERWISE REQUIRED BY POWER COMPANY.
- ALL PAVEMENT WITH IN NCDOT RIGHT-OF-WAY SHALL PER NCDOT ASPHALT PAVEMENT SECTION DETAILS" THIS SHEET.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF MORRISVILLE AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- CONTRACTOR SHALL NOTIFY "NCR811" (811) OR 1-800-632-4949 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NCR811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL AND STATE MUNICIPALITY AND NCDOT, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, LOCAL AND STATE MUNICIPALITY AND NCDOT.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN ARE INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENTS. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE LOCAL AND STATE MUNICIPALITY AND NCDOT STANDARDS AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS. PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS. PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE NCDOT STANDARD SPECIFICATIONS. PROPER SUBGRADE COMPACTION, ADHERENCE TO THE NCDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
- THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

PAVEMENT DISCLAIMER:

- PAVEMENT SECTIONS AND COMPACTION SHOWN ARE SUBJECT TO CHANGE BASED ON THE RESULTS FROM THE GEOTECHNICAL REPORT.
- ASPHALT PAVEMENT GREATER THAN 2" MUST BE DONE IN MULTIPLE LIFTS.

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063



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FINAL DRAWING - RELEASED FOR CONSTRUCTION

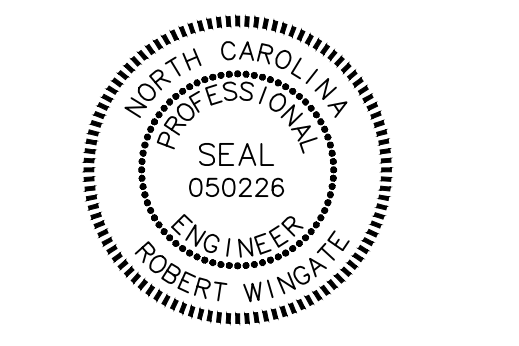


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 MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
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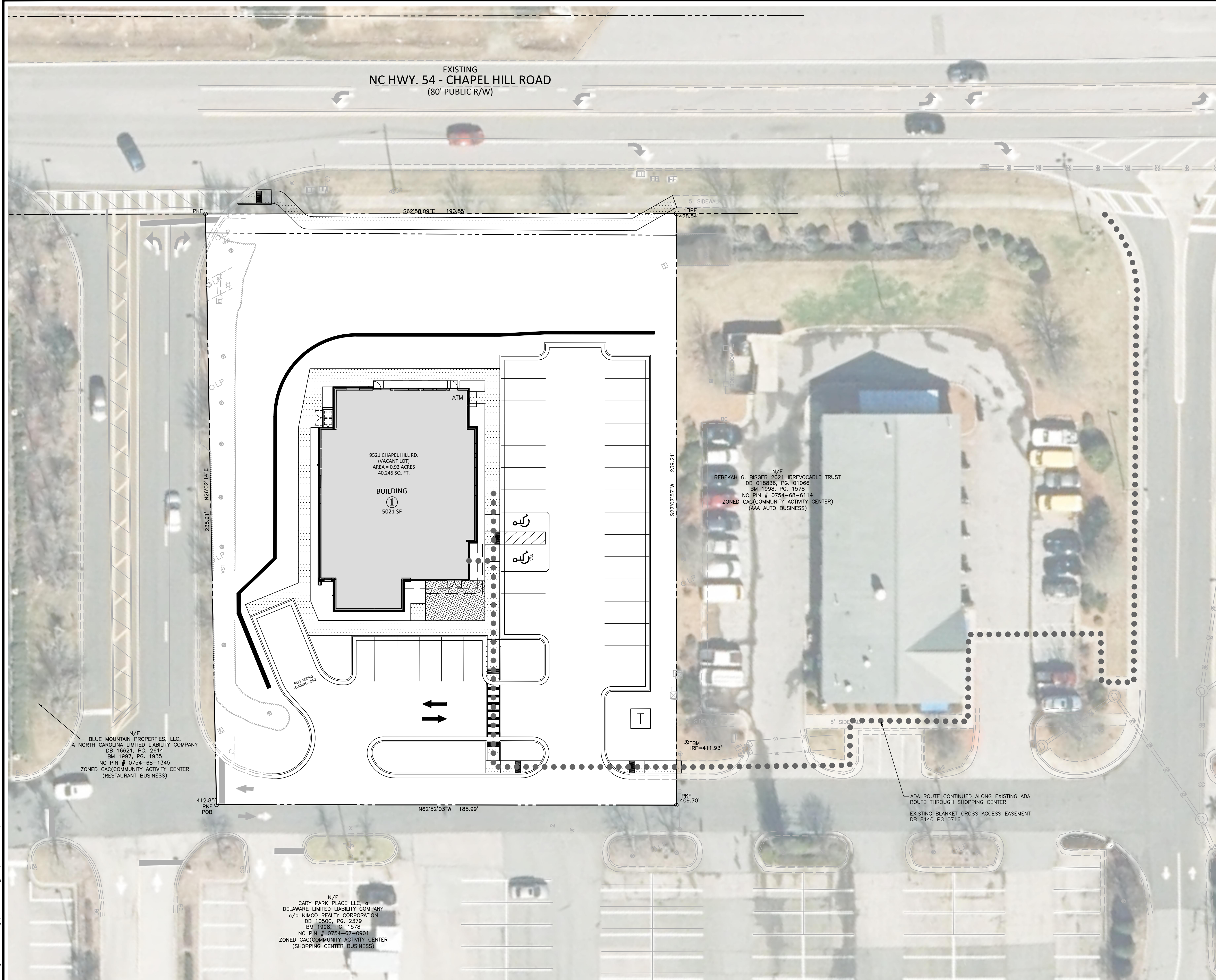
PLAN INFORMATION

PROJECT NO.	LAB23003
FILENAME	LAB23003PM1
CHECKED BY	RTW
DRAWN BY	MJD
SCALE	1" = 20'
DATE	07.23.2024

SHEET

PAVEMENT AND SIGNAGE PLAN
C2.01

M:\Projects\LAB\LAB23003\04-Production\Engineering\Construction Drawings\Current Drawings\LAB23003PM1.dwg, 7/23/2024, 5:54:04 PM, Mikahla Blairwood



SITE LEGEND

●●●●●●●● ACCESSIBLE ROUTE



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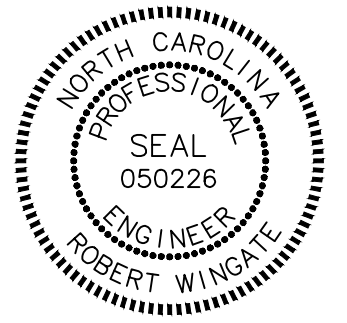
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REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

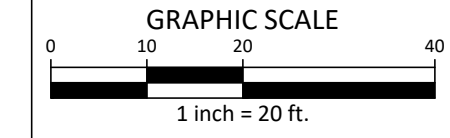
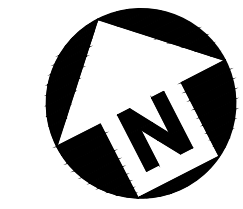
PROJECT NO. LAB23003
FILENAME LAB23003S3
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

ADA PATH

C2.02

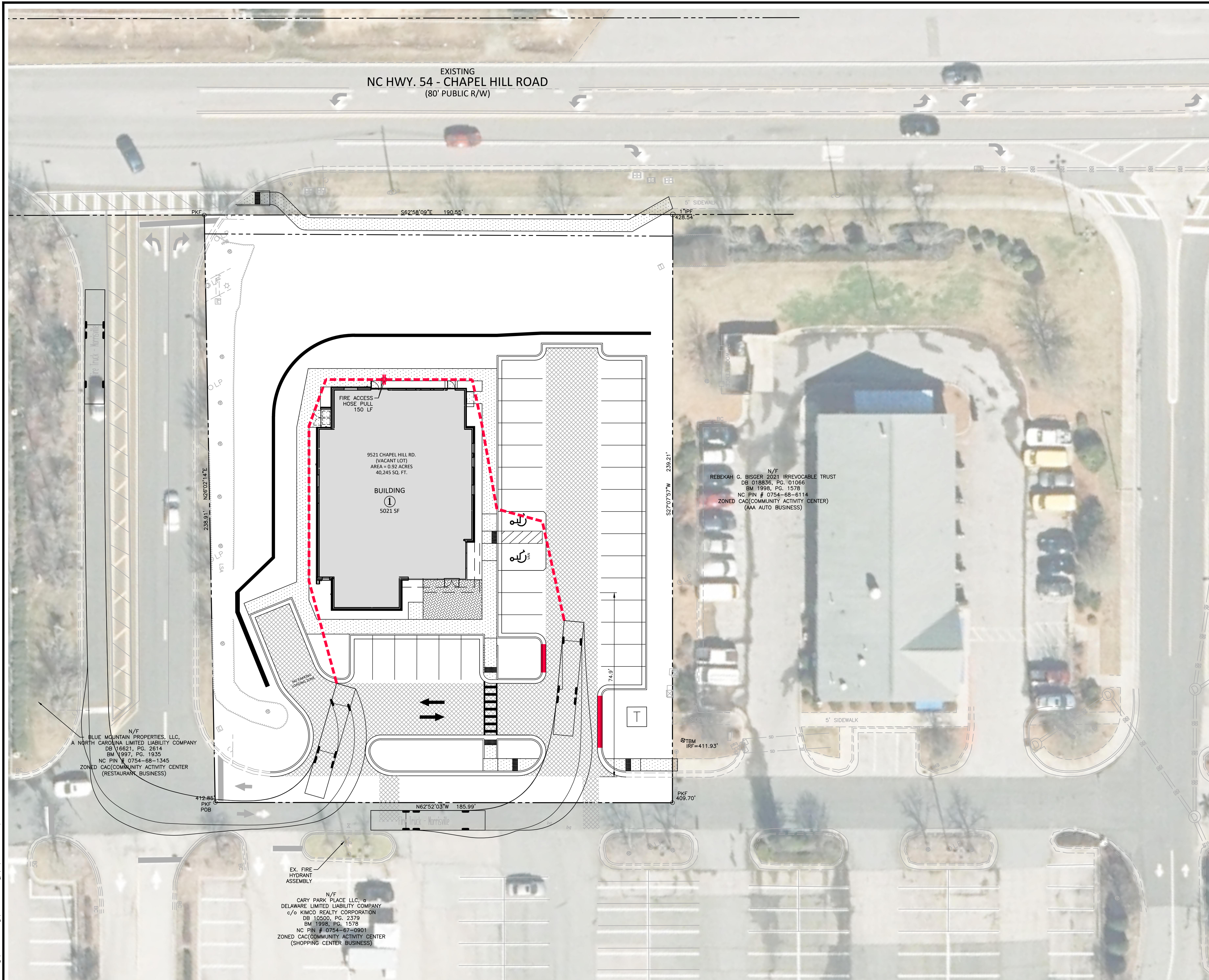
TOWN OF MORRISVILLE PROJECT # COMBO-23-0063



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

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SITE LEGEND

- SHADING ALONG CURB INDICATES WHERE CURB SHALL BE CONTINUOUSLY MARKED WITH THERMO PLASTIC RED CURB ALONG THE FIRE LANE WITH WHITE "NO PARKING-FIRE LANE" PRINTED WITH A MINIMUM 8" HIGH LETTERS AT 40' INTERVALS OR AS DIRECTED BY THE FIRE MARSHAL.
- HEAVY DUTY ASPHALT PAVEMENT

FIRE HYDRANT AND FIRE LANE NOTES:

1. PARKING PROHIBITED NEAR FIRE HYDRANTS AND IN FIRE LANES.
2. IT SHALL BE UNLAWFUL FOR ANY PERSON TO STOP, STAND, OR PARK ANY VEHICLE OR EQUIPMENT WITHIN 25 FEET IN EITHER DIRECTION OF A FIRE HYDRANT AND TEN FEET IN FRONT OR BEHIND THE HYDRANT BETWEEN STREET RIGHT-OF-WAY UNLESS A GREATER OR LESSER DISTANCE IS DESIGNATED BY ACTION OF THE TOWN COUNCIL AND APPROPRIATE SIGNS OR MARKINGS ARE DISPLAYED.
3. FIRE LANES SHALL BE MARKED WITH PAINTING/OUTLINING OR SIGNAGE OR A COMBINATION THEREOF AS OUTLINED BELOW. REQUIREMENTS FOR FIRE LANES TO BE MARKED UTILIZING BOTH PAINT AND SIGNS IN CONJUNCTION SHALL BE DETERMINED BY THE FIRE CHIEF OR HIS DESIGNEE. SAID SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, TO THE FOLLOWING:
 - A. SIGNS SHALL MEASURE 12 INCH BY 18 INCH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND.
 - B. SIGNS MUST BE METAL CONSTRUCTION ONLY. PLASTIC OR WOODEN SIGNS ARE NOT ACCEPTABLE.
 - C. SIGNS SHALL BE MOUNTED AT A MINIMUM HEIGHT OF FOUR FEET TO THE MAXIMUM OF SEVEN FEET.
 - D. SIGNS SHALL BE PLACED ALONG THE FIRE LANE AT INTERVALS NOT TO EXCEED 50 FEET AND AS DESIGNATED BY THE FIRE CODE OFFICIAL.
 - E. SIGNS SHALL BE PLACED ON BOTH SIDES OF THE LANE WHEN STRIPING IS REQUIRED ON BOTH SIDES OF THE LANE BY THE NORTH CAROLINA FIRE CODE.
 - F. OUTLINING OR PAINTING THE FIRE LANE & HYDRANT ZONE ON THE ROADWAY SURFACES SHALL BE DONE AS FOLLOWS:
 - CURB TOP AND SIDE SHALL BE PAINTED RED AND THE WORDS, "NO PARKING FIRE LANE" SHALL BE STENCILED IN REFLECTIVE WHITE ON THE TOP AND SIDE OF ALL RED CURBS AT A MAXIMUM INTERVAL OF 50 FEET. LETTERS SHALL BE A MINIMUM OF THREE INCHES (3") IN HEIGHT WITH A MINIMUM 3/4 INCH STROKE.
 - ALTERNATIVELY, IF THE ROADWAY HAS NO CURBING, A 6 INCH WIDE RED STRIPE WITH THE WORDS "NO PARKING FIRE LANE" IN WHITE MAY BE PAINTED ALONG THE CURB AND PARALLEL WITH THE ROADWAY. THE LETTERING SHALL BE A MINIMUM 3 INCHES HIGH WITH A 3/4 INCH STROKE.
 - G. EXISTING FIRE LANES SHALL CONTINUE IN EFFECT AS INSTALLED UNTIL SUCH TIME AS THEY ARE IN NEED OF RE-STRIPPING DUE TO WEAR OR RE-PAVING. RESPONSIBILITY FOR PROPERLY MAINTAINING THE FIRE LANES AND SIGNS SHALL BE THAT OF THE OWNER OF THE PROPERTY OR OWNER'S DESIGNEE.

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MORRISVILLE, NC



REVISIONS

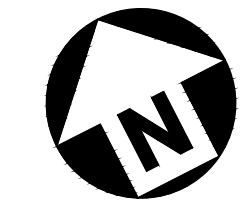
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PLAN INFORMATION

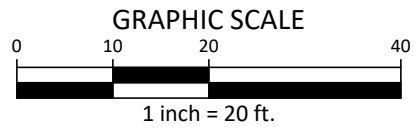
PROJECT NO. LAB23003
FILENAME LAB23003S3
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET
FIRE TRUCK ACCESS PLAN
C2.03

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

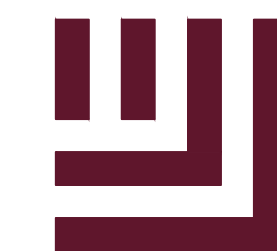


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - RELEASED FOR CONSTRUCTION

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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
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6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003051
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

OPEN SPACE PLAN

C2.04

SITE LEGEND

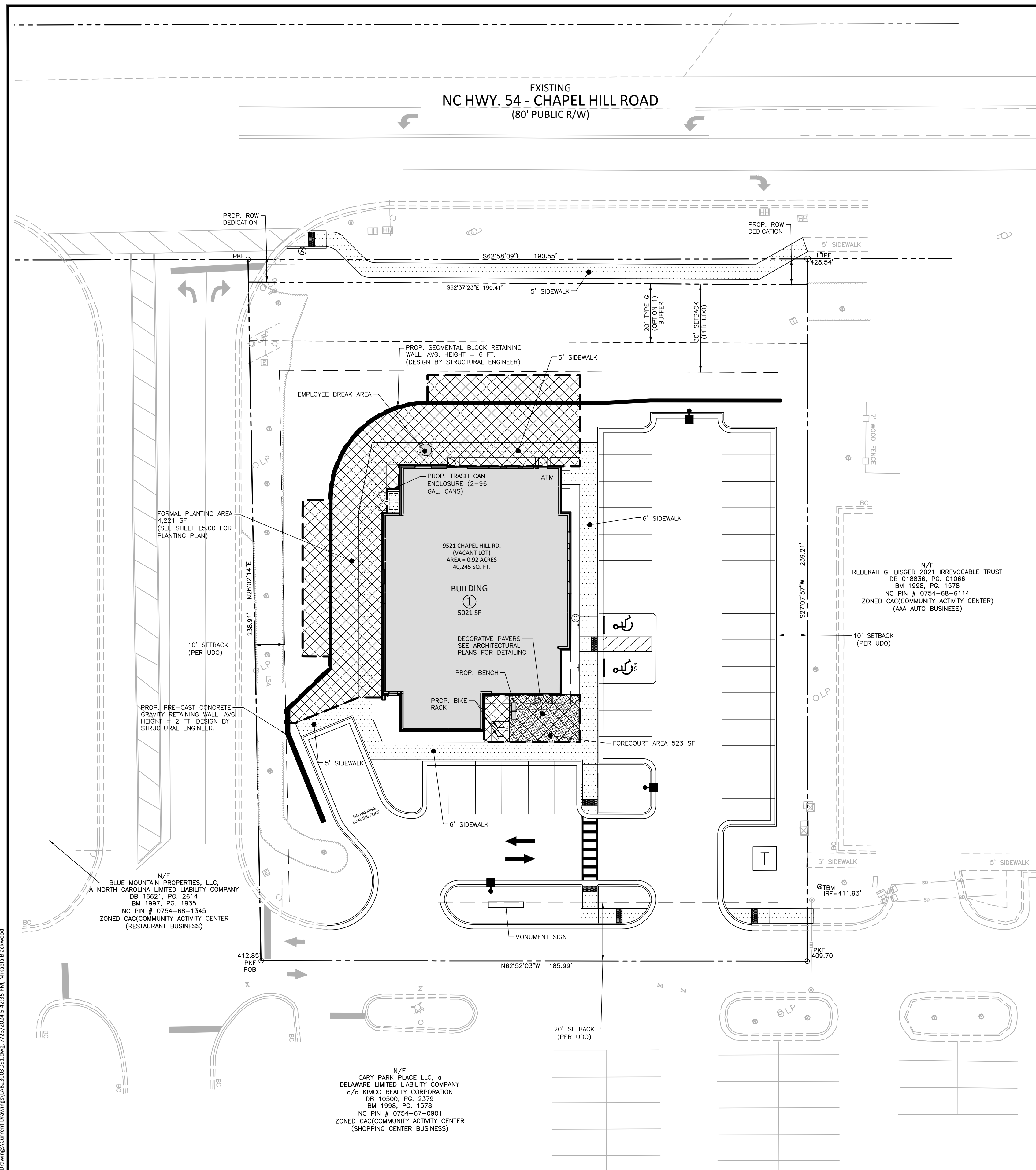
	SIGNAGE
	PR. LIGHT POLE (SEE PHOTOMETRIC PLAN)
	EX. LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMPS
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	OPEN SPACE AREA
	CONCRETE SIDEWALK

OPEN SPACE NOTES:

- SEE SHEET L5.00 (LANDSCAPE PLAN) FOR PLANTS TO BE INCLUDED AS PART OF THE FORMAL PLANTING AREA.

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED	10% OF PARCEL AREA 45,005 SF X 10% = 4,501 SF
OPEN SPACE PROVIDED	FORMAL PLANTING AREA = 4,221 SF FORECOURT AREA = 523 SF TOTAL AREA = 4,744 SF, 10.54%



FORMAL PLANTING AREA
4,221 SF
(SEE SHEET L5.00 FOR PLANTING PLAN)

PROP. PRE-CAST CONCRETE
GRAVITY RETAINING WALL, AVG.
HEIGHT = 2 FT. DESIGN BY
STRUCTURAL ENGINEER.

N/F
BLUE MOUNTAIN PROPERTIES, LLC,
A NORTH CAROLINA LIMITED LIABILITY COMPANY
DB 16621, PG. 2814
BM 1997, PG. 1935
NC PIN # 0754-68-1345
ZONED CAC(COMMUNITY ACTIVITY CENTER
(RESTAURANT BUSINESS))

N/F
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10550, PG. 2379
BM 1998, PG. 1578
NC PIN # 0754-67-0901
ZONED CAC(COMMUNITY ACTIVITY CENTER
(SHOPPING CENTER BUSINESS))

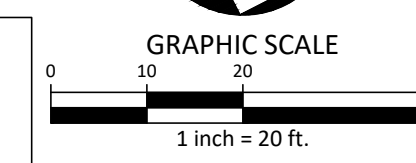
N/F
REBEKAH G. BIGSER 2021 IRREVOCABLE TRUST
DB 018836, PG. 01066
BM 1998, PG. 1578
NC PIN # 0754-68-6114
ZONED CAC(COMMUNITY ACTIVITY CENTER)
(AAA AUTO BUSINESS)

N/F
CARY PARK PLACE LLC, a
DELAWARE LIMITED LIABILITY COMPANY
c/o KIMCO REALTY CORPORATION
DB 10550, PG. 2379
BM 1998, PG. 1578
NC PIN # 0754-67-0901
ZONED CAC(COMMUNITY ACTIVITY CENTER
(SHOPPING CENTER BUSINESS))

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

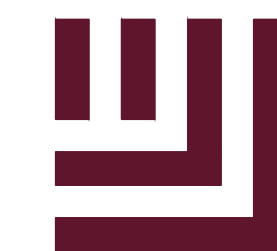


ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT TOWN OF MORRISVILLE
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS



FINAL DRAWING - RELEASED FOR CONSTRUCTION

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REVISIONS

Table with 3 columns: NO., DATE, DESCRIPTION. Contains 6 revision entries.

PLAN INFORMATION

PROJECT NO. LAB23003 FILENAME LAB23003G1 CHECKED BY RTW DRAWN BY MJD SCALE 1" = 20' DATE 07.23.2024 SHEET

GRADING AND DRAINAGE PLAN

C3.00

GRADING NOTES:

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION... 12. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER...

STORM DRAINAGE NOTES:

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE HDPE PIPES (OR APPROVED EQUIVALENT) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. 10. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST...

IMPERVIOUS SURFACE = 25,000 SF / 0.57 AC (57.6% OF PARCEL) (INCLUDING A FUTURE ALLOCATION OF 539 SF)

GRADING LEGEND

- 250.50 TOP & BOTTOM CURB ELEVATIONS 250.00 SPOT ELEVATION + 250.60 MATCH EXISTING GRADE [MEG] BOTTOM/TOP OF WALL [B/W] / [T/W] STORM DRAIN INLET CLEANOUT JUNCTION BOX STORM DRAINAGE LIMITS OF DISTURBANCE MAJOR CONTOUR MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR EASEMENT LINE ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS) SPILL CURB (REVERSED 4.00% GUTTER SLOPE)

STORM STRUCTURES TABLE

Table with 4 columns: Structure ID, Description, Invert/Outlet, and Material. Lists structures like EXCB-106, JB-106A, SCM-109, etc.

Storm Pipe Table with columns: PIPE NO., BEG. STRUCT., END STRUCT., SIZE (IN), LENGTH (FT), SLOPE (%), MATERIAL, BEG. INVERT, END INVERT. Lists pipe segments and their properties.

CROSSING TABLE (FT) with columns: CROSSING, OUTSIDE TOP OF STORM, INVERT OF STORM, OUTSIDE BOTTOM OF STORM, OUTSIDE TOP OF SANITARY, INVERT OF SANITARY, OUTSIDE BOTTOM OF SANITARY, CLEARANCE. Lists crossing points and clearances.

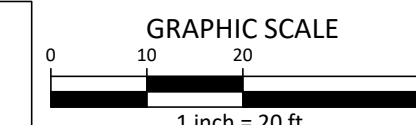
RETAINING WALL NOTES:

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. 2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

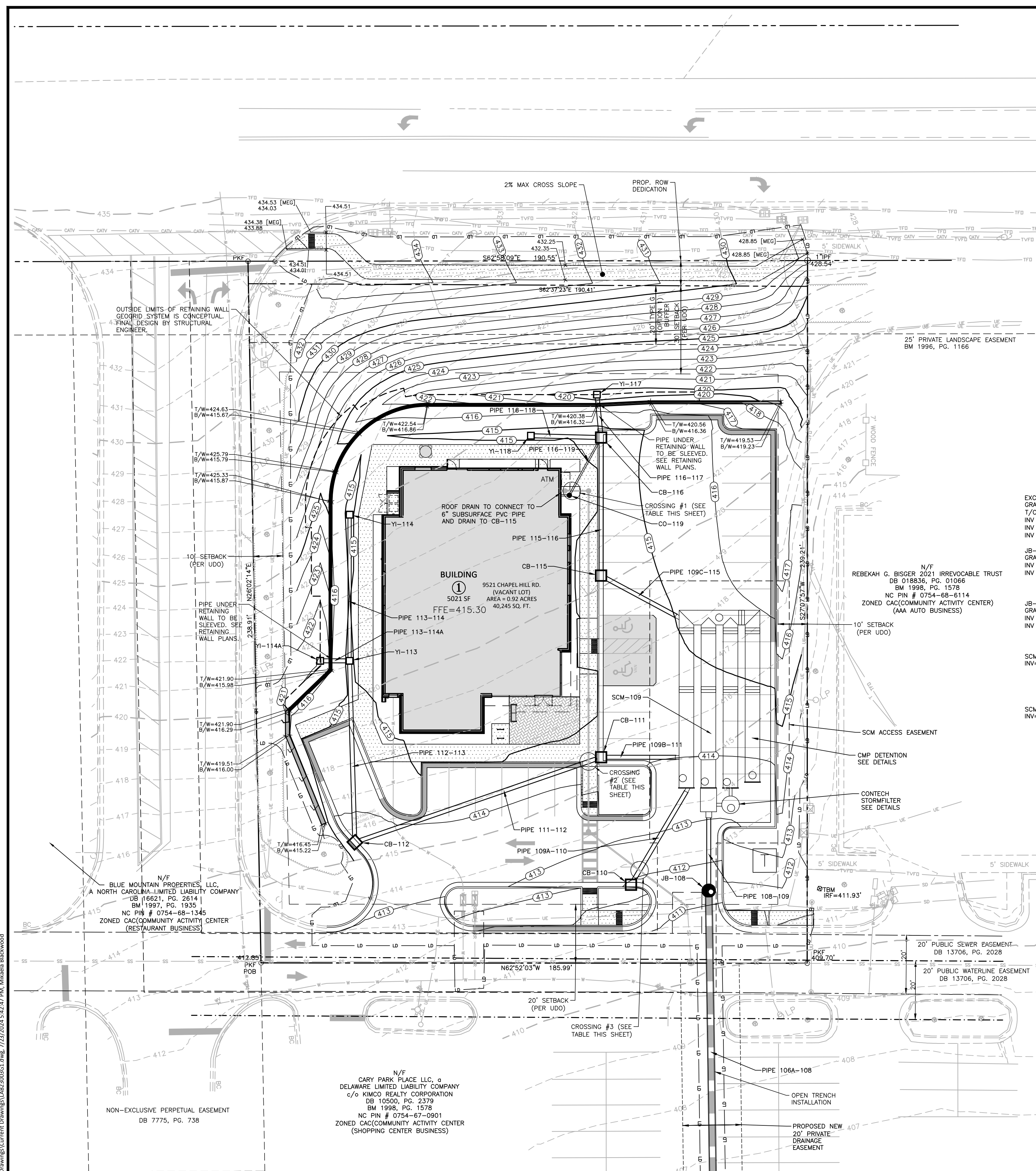


Know what's below. Call before you dig.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

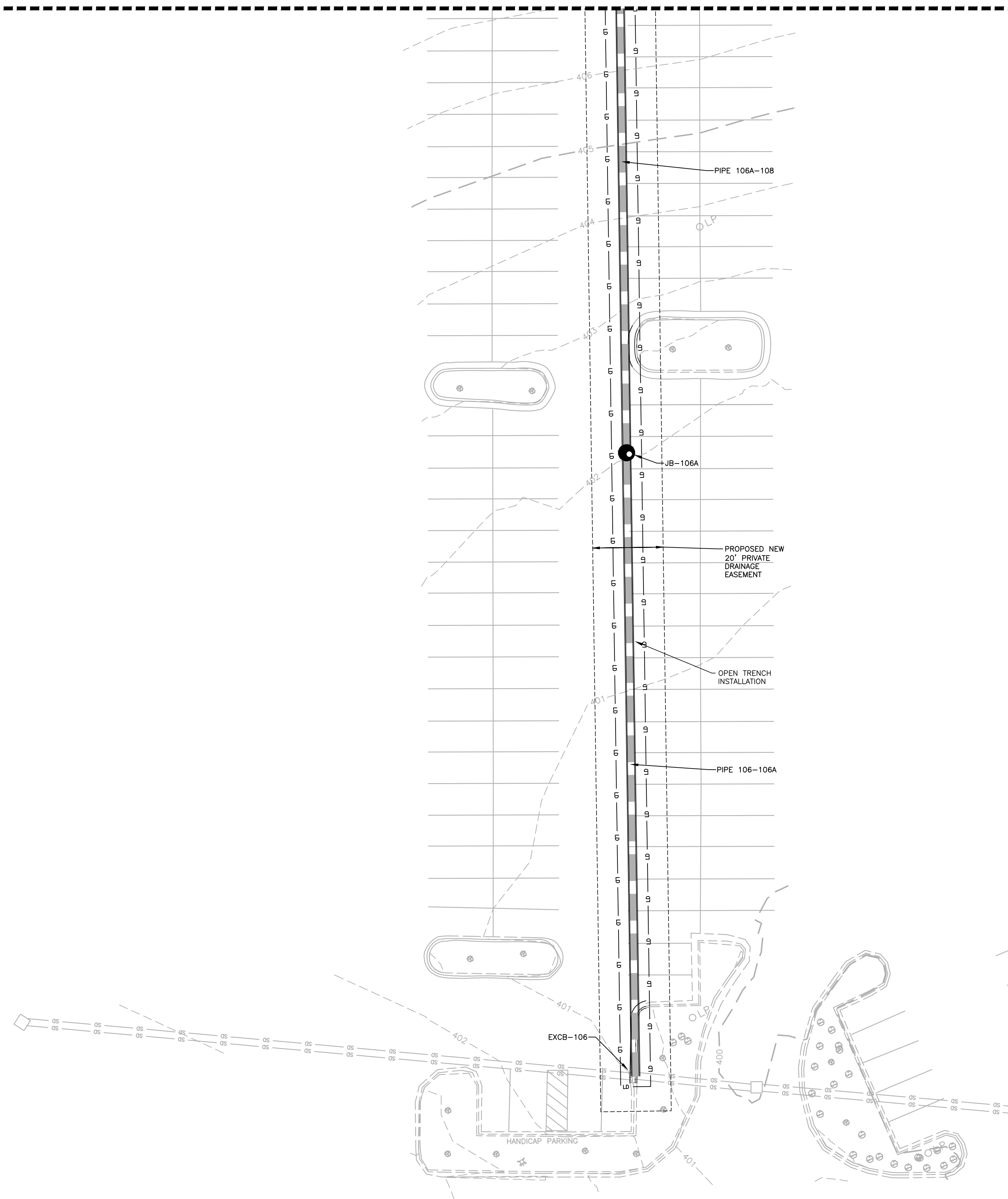
FINAL DRAWING - RELEASED FOR CONSTRUCTION



MATCH LINE - SEE SHEET C3.01

Vertical text on the left edge of the drawing, likely a project or drawing ID.

MATCH LINE - SEE SHEET C3.00

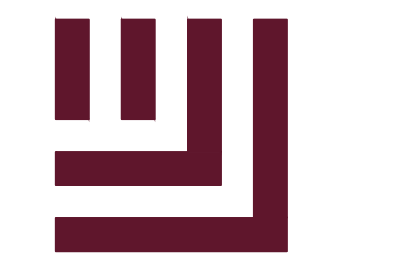


GRADING LEGEND

- JUNCTION BOX
- STORM DRAINAGE
- LIMITS OF DISTURBANCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE

GRADING AND STORM DRAINAGE NOTES:

1. SEE SHEET C3.00 FOR "GRADING NOTES" AND "STORM DRAINAGE NOTES"
2. SEE SHEET C3.00 FOR STORMWATER TABLES.



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LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
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PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003G1
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

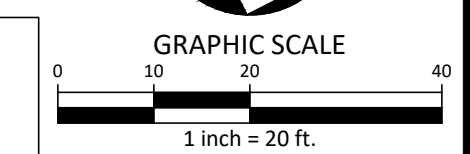
GRADING AND DRAINAGE PLAN

C3.01

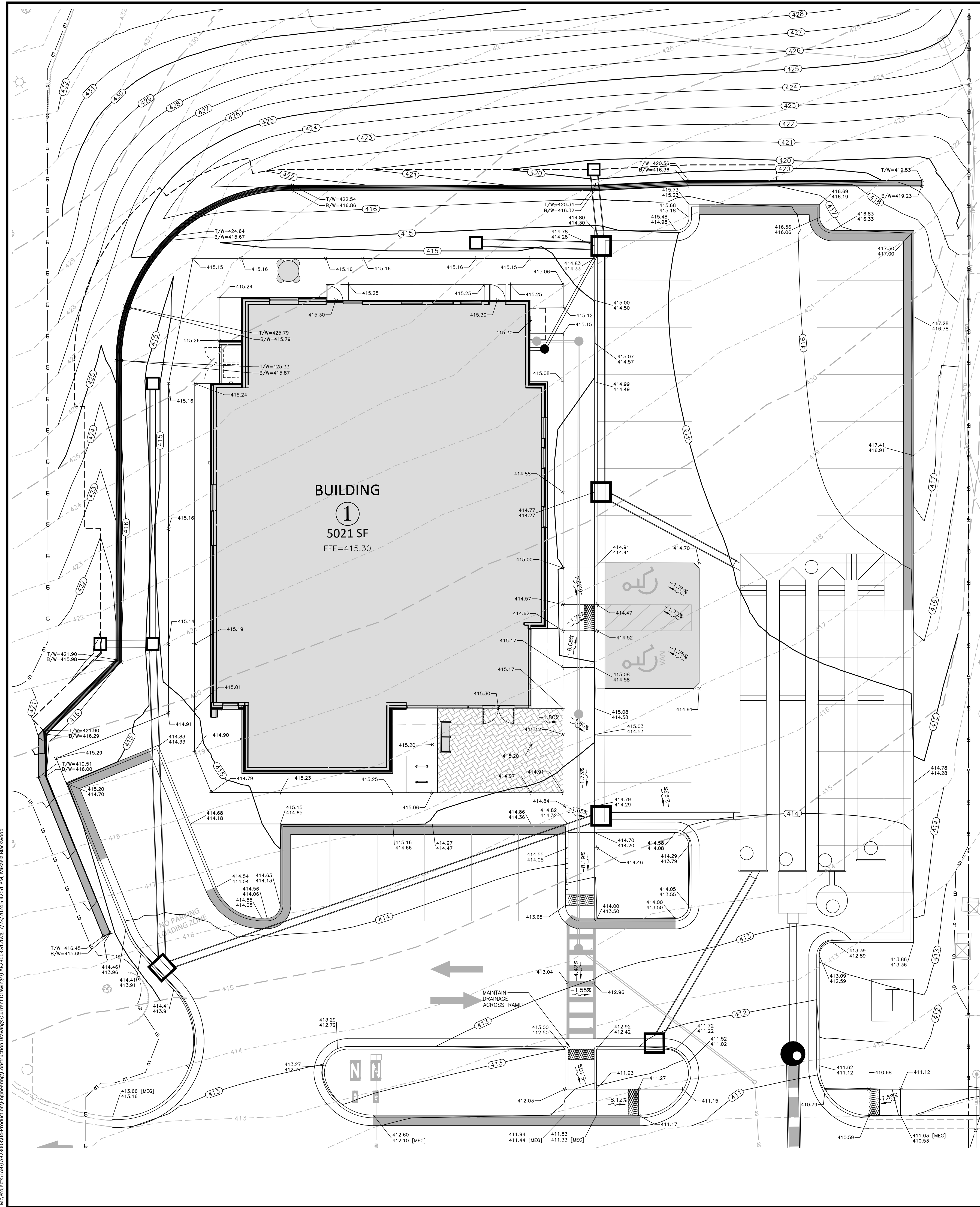
TOWN OF MORRISVILLE PROJECT # COMBO-23-0063



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FINAL DRAWING - RELEASED FOR CONSTRUCTION



GRADING LEGEND

250.50	TOP & BOTTOM CURB ELEVATIONS
250.00	SPOT ELEVATION
+ 250.60	MATCH EXISTING GRADE
[MEG]	BOTTOM/TOP OF WALL
[B/W] / [T/W]	STORM DRAIN INLET
□	CLEANOUT
●	JUNCTION BOX
—	STORM DRAINAGE
LD LD	LIMITS OF DISTURBANCE
250	MAJOR CONTOUR
252	MINOR CONTOUR
-250	EXISTING MAJOR CONTOUR
-252	EXISTING MINOR CONTOUR
---	EASEMENT LINE
▭	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
▭	SPILL CURB (REVERSED 4.00% GUTTER SLOPE)



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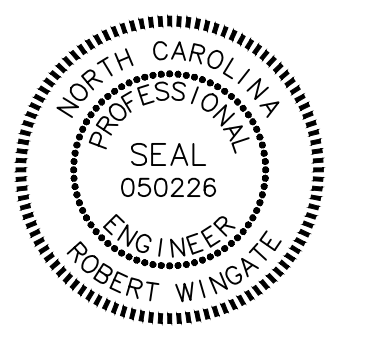
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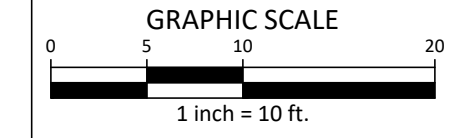
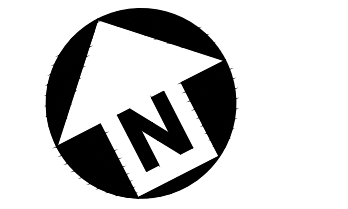
PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003G1
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 10'
DATE 07.23.2024

FINE GRADING PLAN

C3.02

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

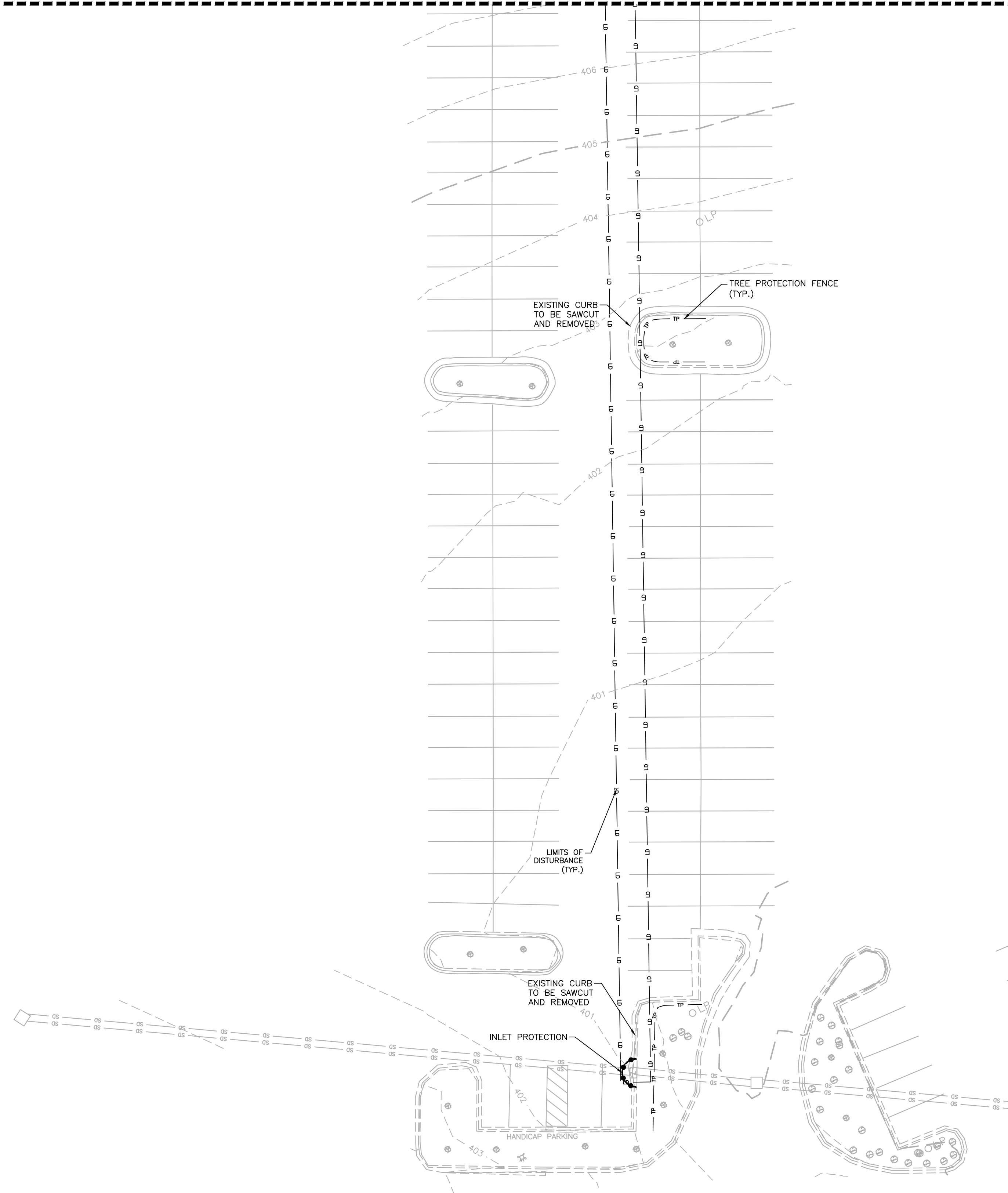


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MATCH LINE - SEE SHEET C6.00



EROSION CONTROL LEGEND

- INLET PROTECTION FOR EXISTING STRUCTURES
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

STAGE 1 SPECIFIC SEQUENCE

1. SEE SHEET C6.00 FOR "EROSION CONTROL NOTES", "GENERAL SEQUENCING" NOTES, AND "STAGE 1 SPECIFIC SEQUENCE" NOTES



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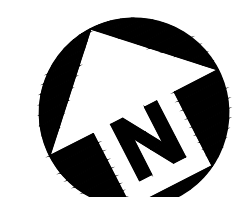
PLAN INFORMATION

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FILENAME LAB23003EC1
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

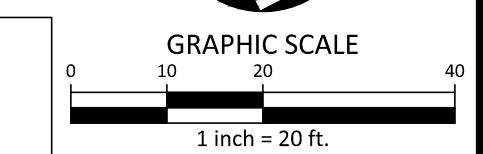
SHEET

EROSION CONTROL
PLAN - STAGE 1
C6.01

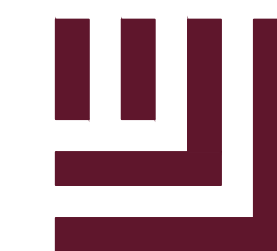
TOWN OF MORRISVILLE PROJECT # COMBO-23-0063



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2	-	-
3	-	-
4	-	-
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PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003EC2
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

EROSION CONTROL
PLAN - STAGE 2
C6.02

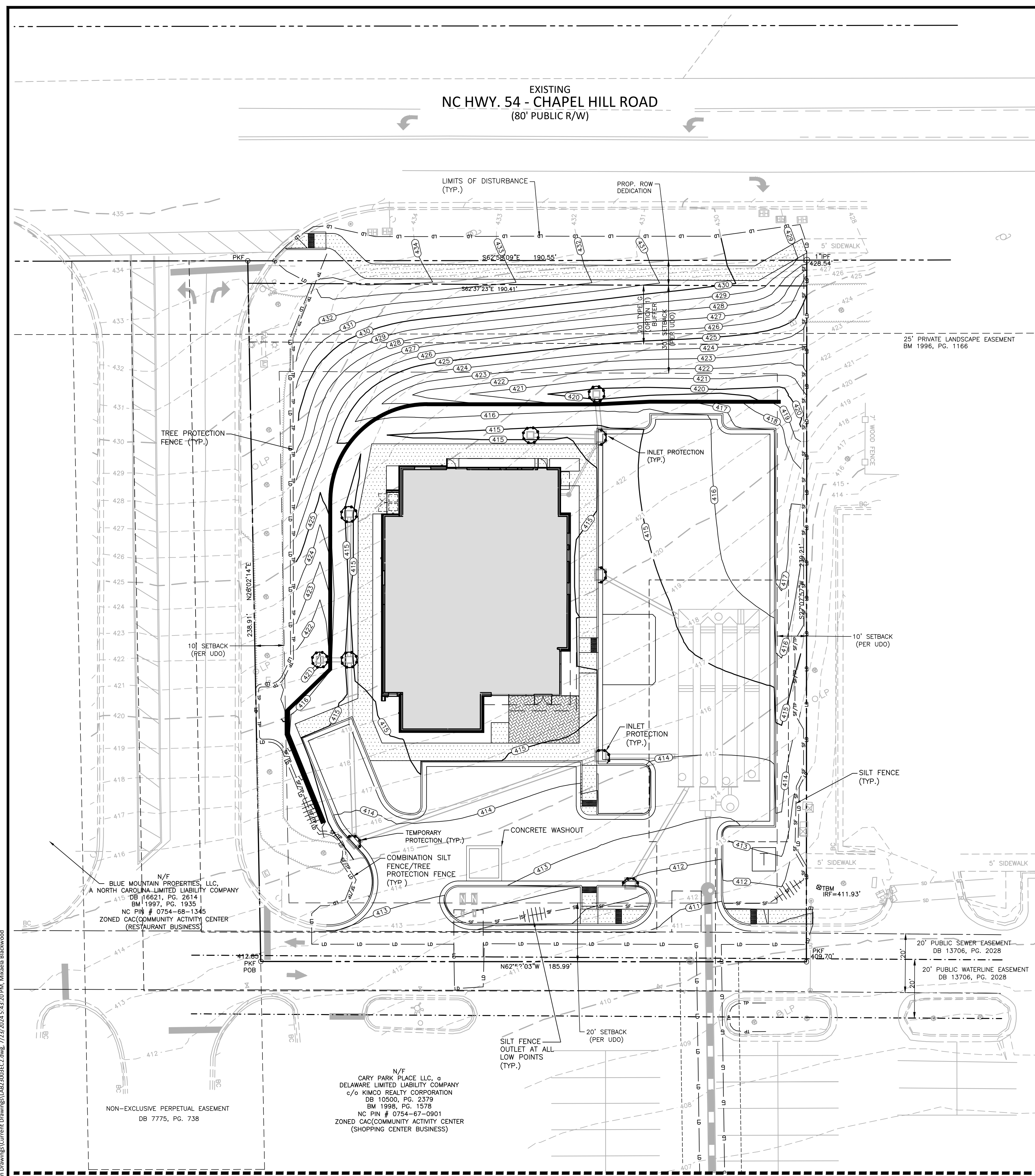
EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION
- SILT FENCE
- TREE PROTECTION FENCE
- COMBINATION SILT/TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CONCRETE WASHOUT

STAGE 2 SPECIFIC SEQUENCE

- SEE SHEET C6.00 FOR "EROSION CONTROL NOTES" AND "GENERAL SEQUENCING" NOTES
- INSTALL THE REMAINDER OF THE STORM COLLECTION SYSTEM WITH INLET PROTECTION, BUILDING PAD, UST, SEWER SERVICES, AND DOMESTIC WATER SERVICES. AS THE REMAINDER OF THE PARKING LOT IS BROUGHT TO FINAL GRADE, IMMEDIATELY STABILIZE WITH STONE BASE.
- INSTALL APPROVED INLET PROTECTION AS INLETS ARE INSTALLED. TEMPORARY EROSION CONTROL MEASURES ARE TO REMAIN UNTIL SUCH MEASURES HAVE BEEN APPROVED FOR REMOVAL BY THE ENVIRONMENTAL ENGINEER AND EROSION CONTROL INSPECTOR. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND FIELD CONDITIONS.
- MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
- UPON APPROVAL OF PERMANENT STABILIZATION BY EROSION CONTROL INSPECTOR, REMOVE REMAINDER OF EROSION CONTROL MEASURES, GRADE AND STABILIZE AND PAVE REMAINDER OF SITE.

LIMITS OF DISTURBANCE = 1.10 ACRES

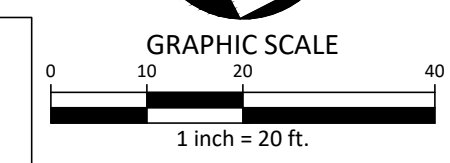


MATCH LINE - SEE SHEET C6.03

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063



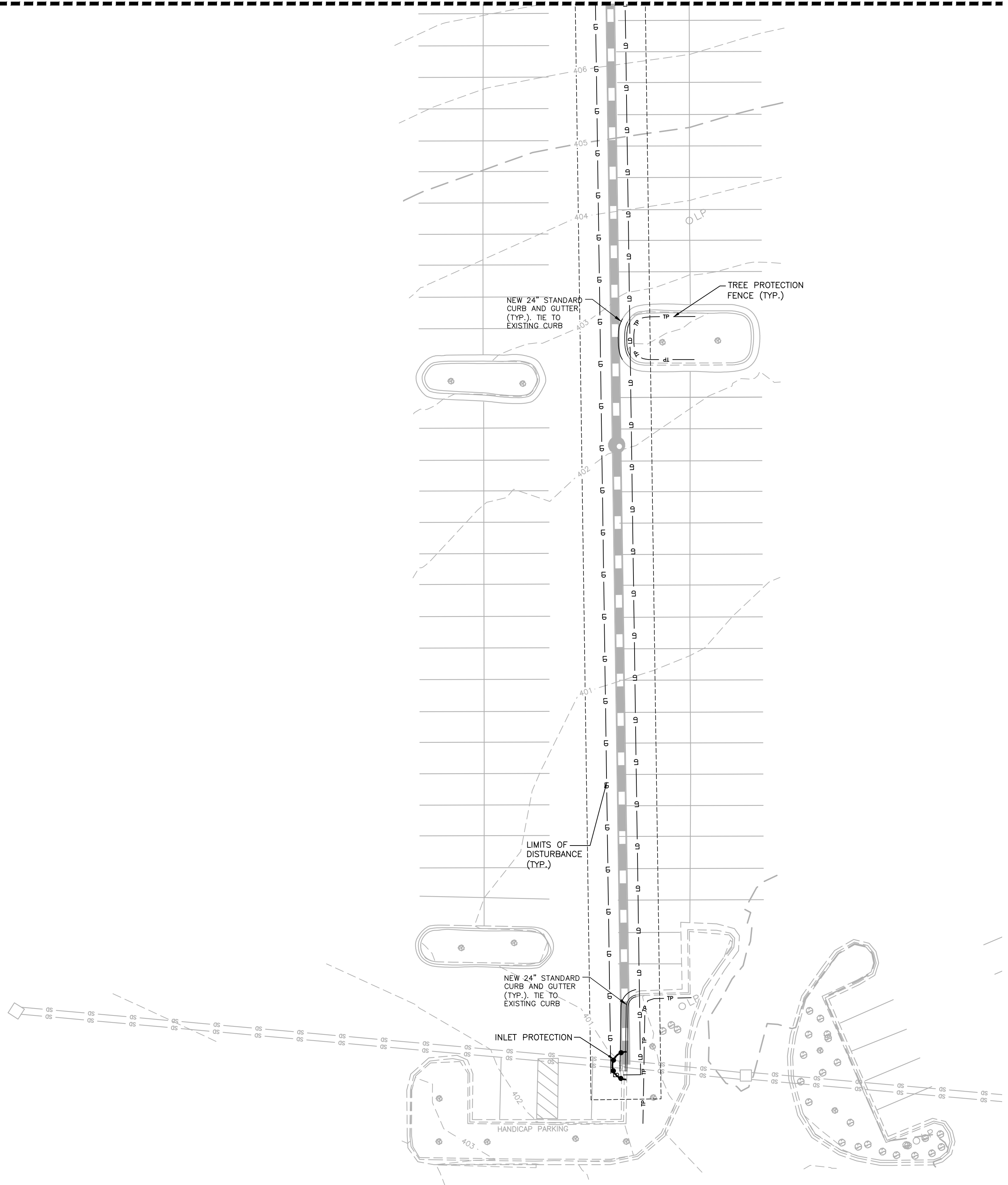
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MATCH LINE - SEE SHEET C6.02

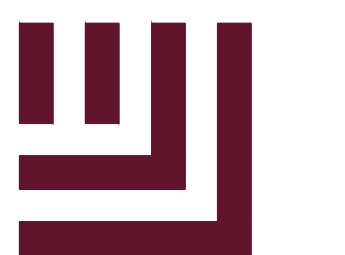


EROSION CONTROL LEGEND

	INLET PROTECTION FOR EXISTING STRUCTURES
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE

STAGE 2 SPECIFIC SEQUENCE

- SEE SHEET C6.00 FOR "EROSION CONTROL NOTES" AND "GENERAL SEQUENCING" NOTES
- SEE SHEET C6.02 FOR "STAGE 2 SPECIFIC SEQUENCE" NOTES



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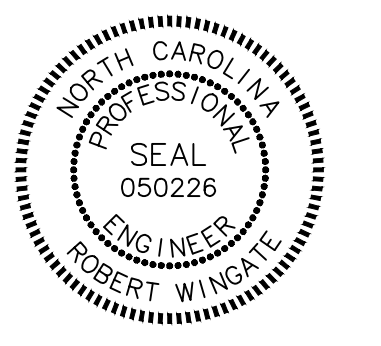
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MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
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PLAN INFORMATION

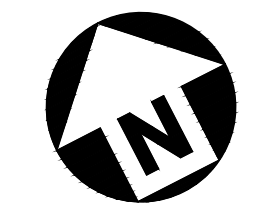
PROJECT NO. LAB23003
FILENAME LAB23003EC2
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

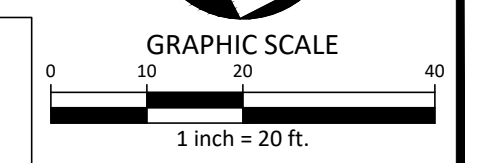
EROSION CONTROL PLAN - STAGE 2

C6.03

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

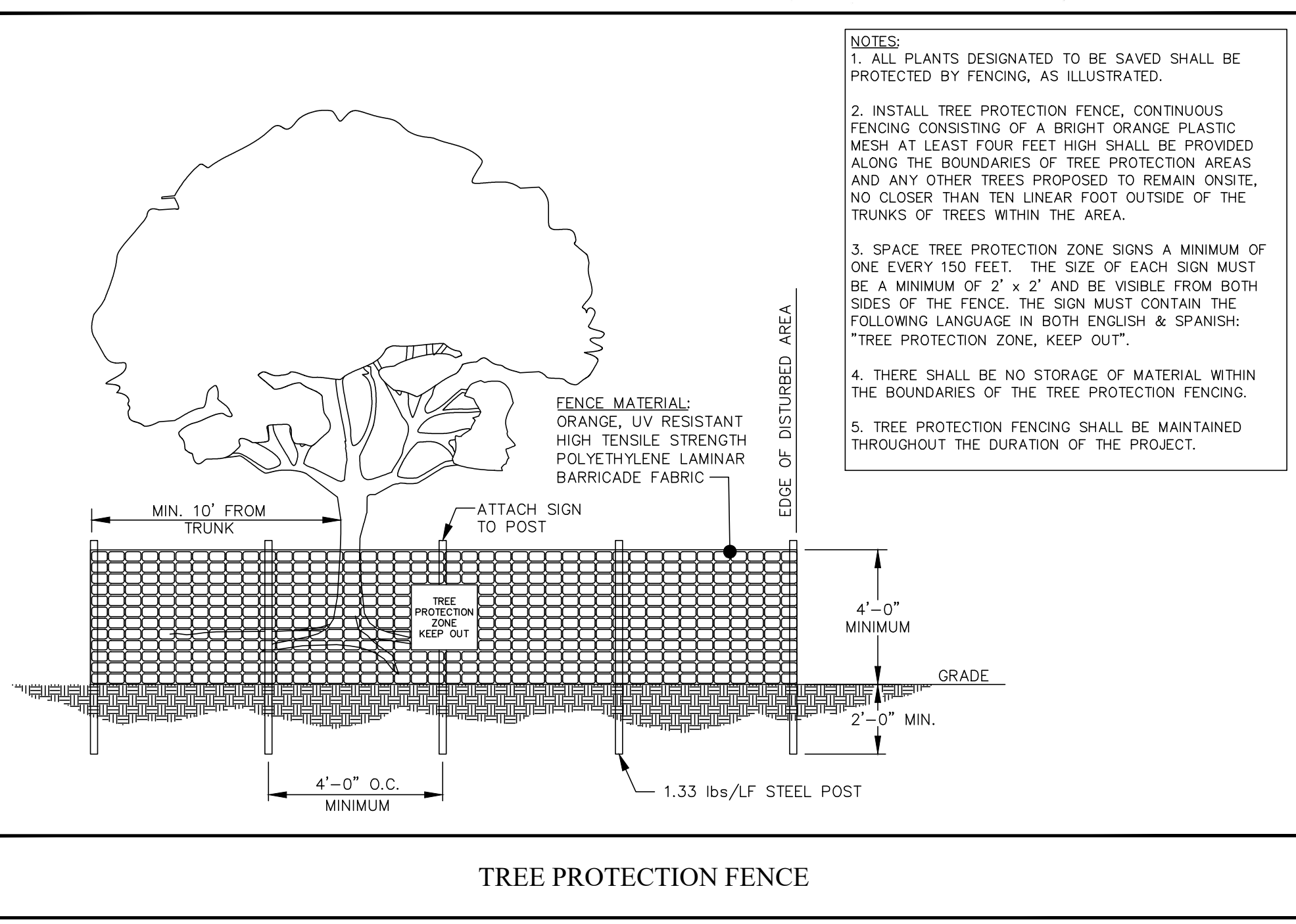
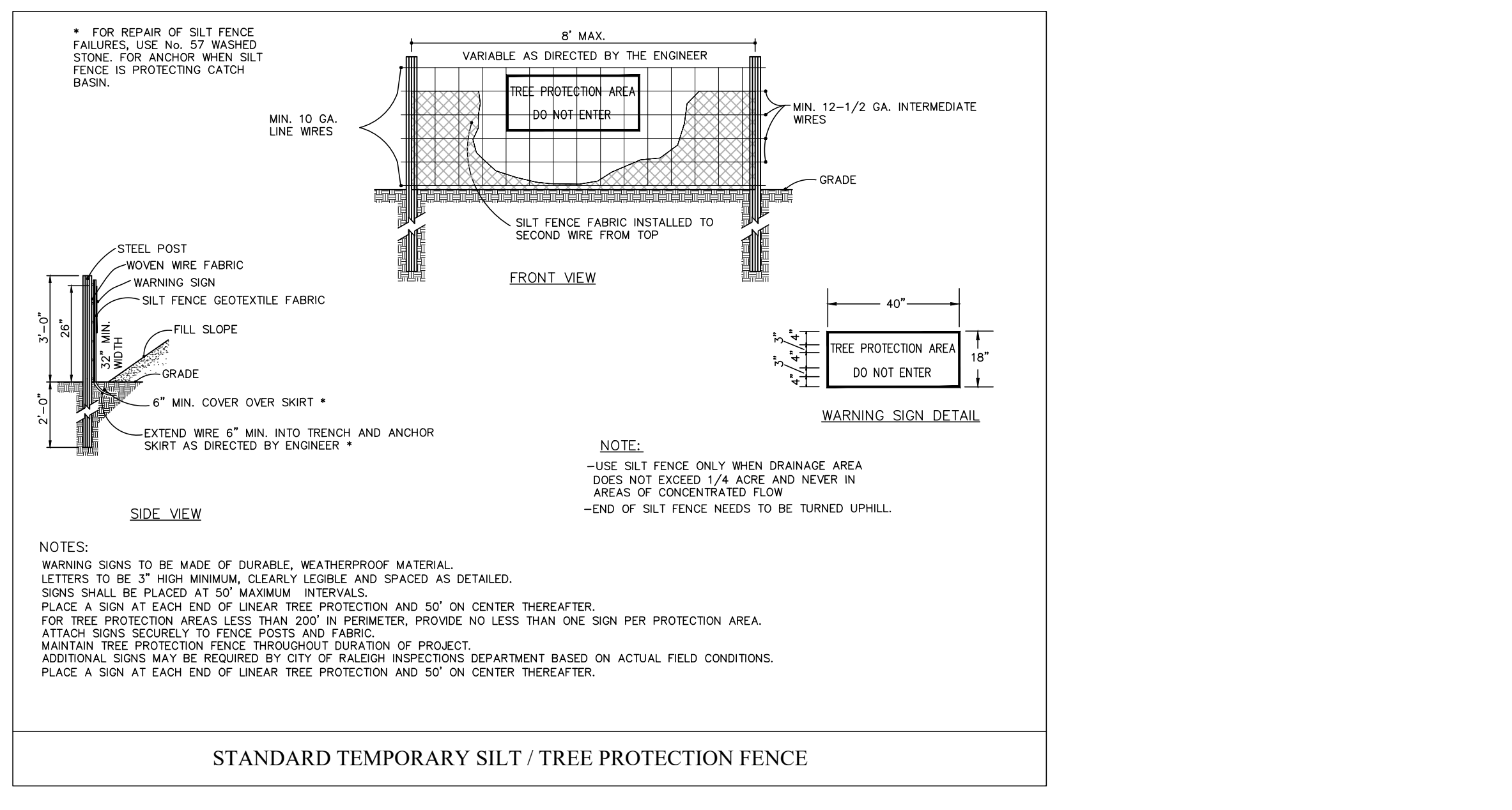
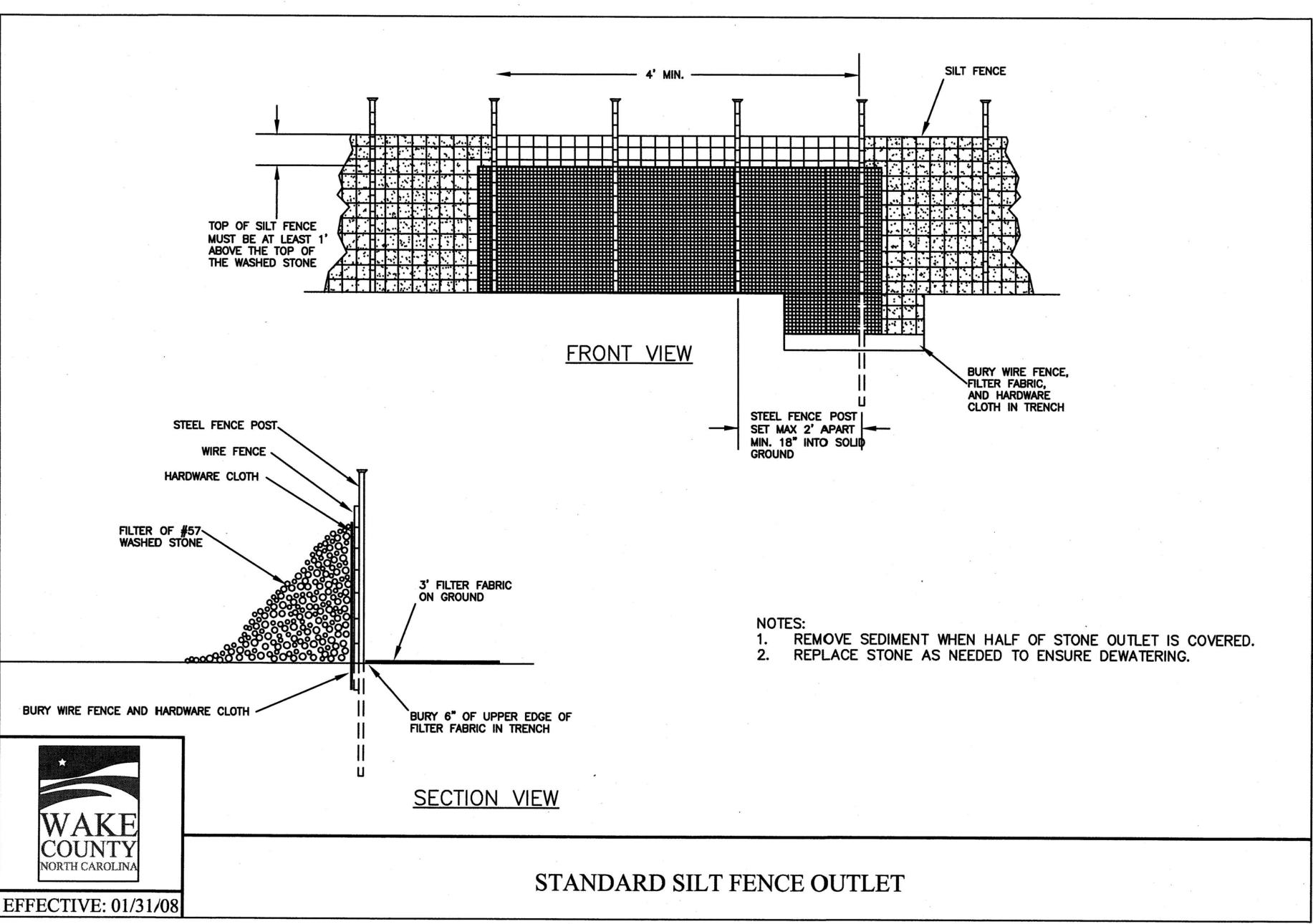
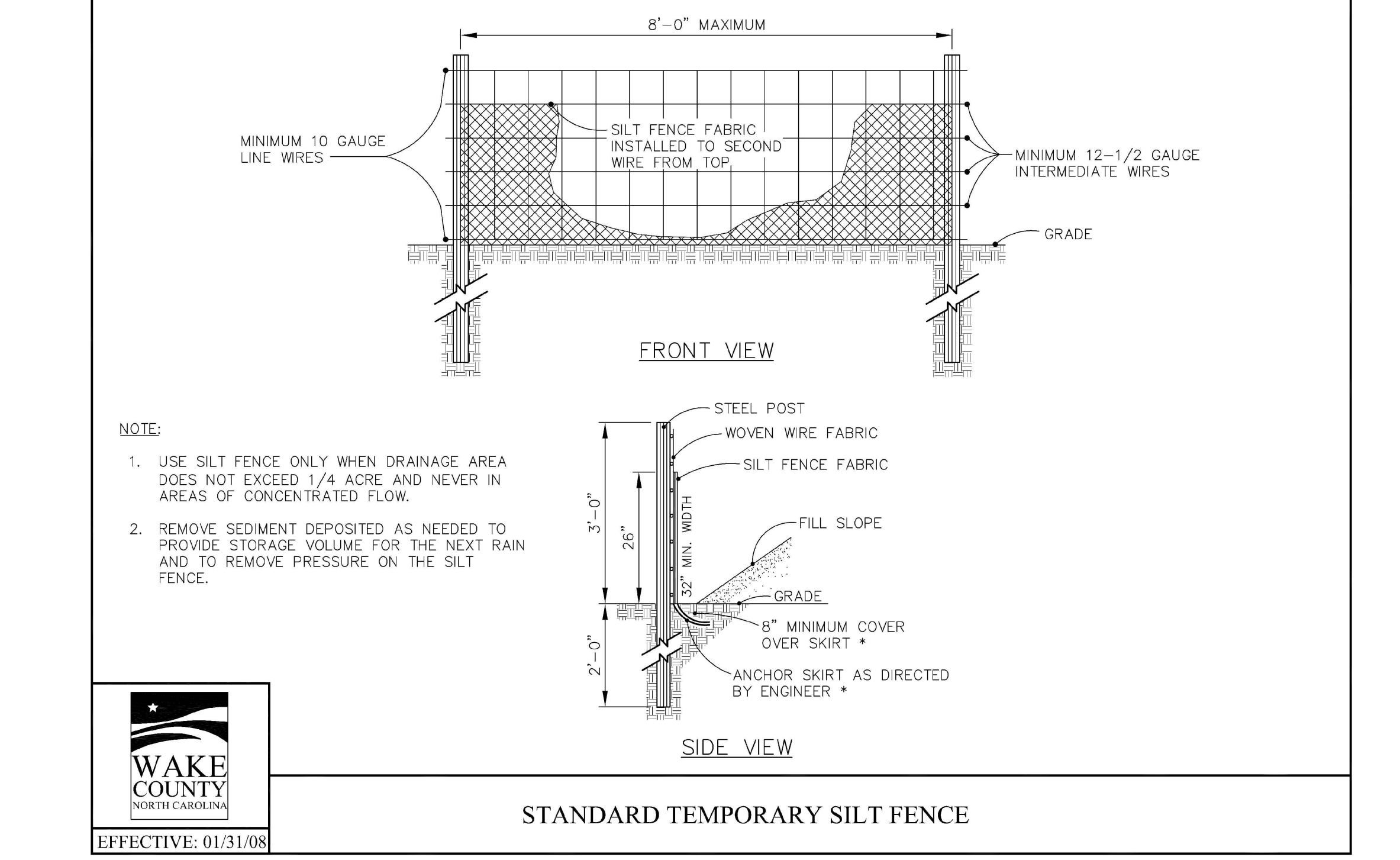
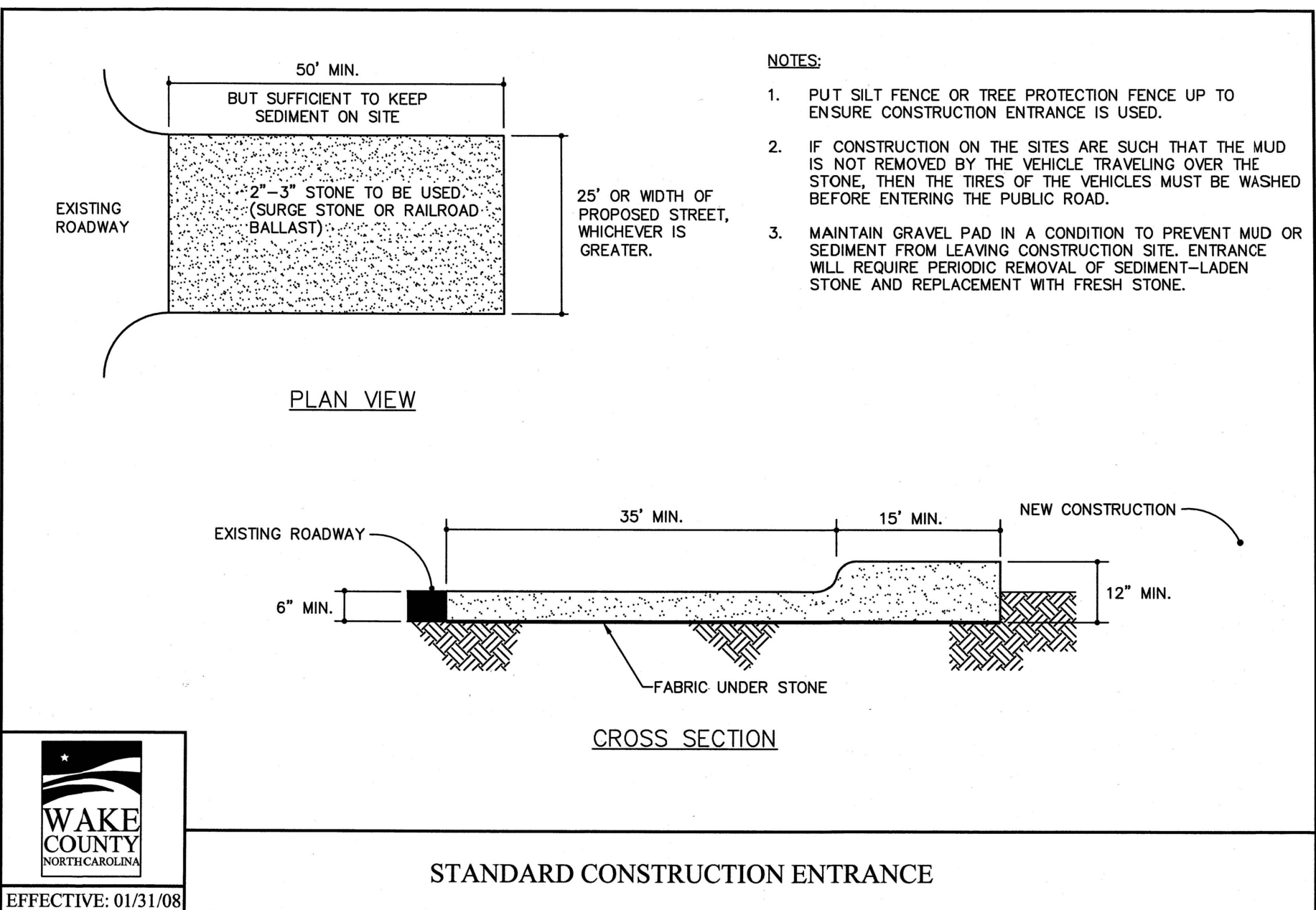
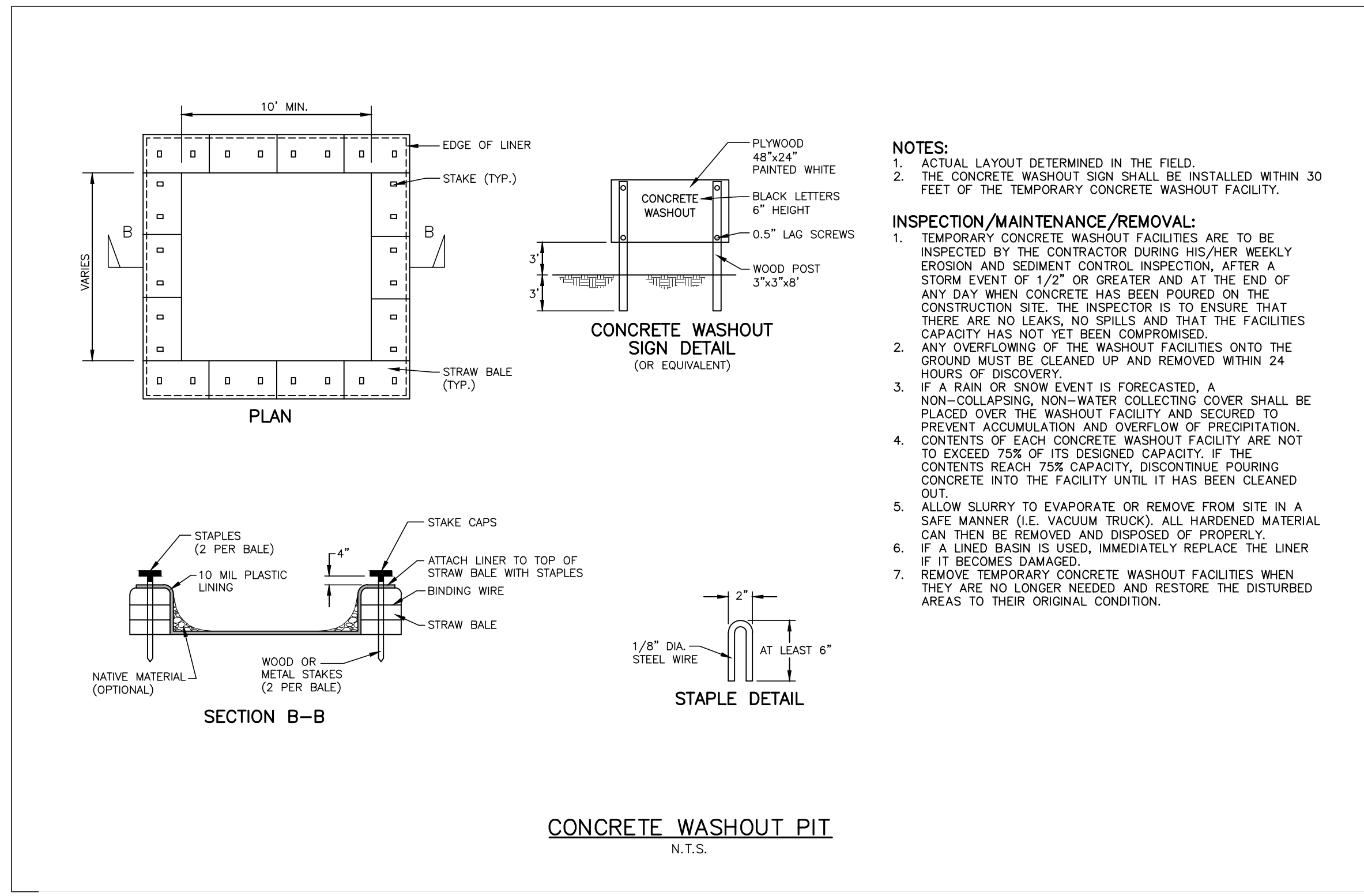


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CONTRACTOR'S INSPECTION REQUIREMENTS OF EROSION CONTROL MEASURES:

- 1) Self Inspection and Reporting Requirements
 - Minimum self-inspection and reporting requirements are as follows unless otherwise approved in writing by the Division of Water Quality.
 - a) A rain gauge shall be maintained in good working order on the site unless another rain-monitoring device has been approved by the Division of Water Quality.
 - b) A written record of the daily rainfall amounts shall be retained and all records shall be made available to Division of Water Quality or authorized agent upon request. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, the cumulative rain measurement for those un-attended days will determine if a site inspection is needed. (Note: if no rainfall occurred, the permittee must record "zero".)
 - c) Erosion and sedimentation control measures shall be inspected to ensure that they are operating correctly. Inspection records must be maintained for each inspection event and for each measure. At a minimum, inspection of measures must occur at the frequency indicated below:
 - i) All erosion and sedimentation control measures must be inspected by or under the direction of the permittee at least once every seven calendar days, and
 - ii) All erosion and sediment control measures must be inspected by or under the direction of the permittee within 24 hours after any storm event or greater than 0.50 inches of rain per 24 hour period.
 - iii) Once land disturbance has begun on the site, stormwater runoff discharge outfalls shall be inspected by observation for erosion, sedimentation and other stormwater discharge characteristics such as clarity, floating solids and oil sheens. Inspections of the outfalls shall be made at least once every seven calendar days and within 24 hours after any storm event of greater than 0.50 inches of rain per 24 hour period.
 - iv) Inspections are only required to be made during normal business hours. When adverse weather conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection can be delayed until this deemed safe to perform these duties. (Times when inspection were delayed because of safety issues should be noted in the Inspection Record). If the inspection cannot be done on that day, it must be completed on the following business day.
 - v) Twenty-four Hour Reporting for visible sediment deposition.
 - vi) The permittee shall report to the Division of Water Quality central office or the appropriate regional office any visible sediment being deposited in any stream or wetland or any noncompliance which may endanger health or the environment. (See Section VIII of this permit for contract information.) Any information shall be provided orally or electronically within 24 hours from the time the permittee became aware of the circumstances.
 - vii) A written submission shall be provided to the appropriate regional office of the Division of Water Quality within 5 days of the time the permittee becomes aware of the circumstances. The written submission shall contain a description of the sediment deposition and actions taken to address the cause of the deposition. The Division of Water Quality staff may waive the requirement for a written report on a case-by-case basis.
 - viii) Records of inspections made during the previous 30 days shall remain on the site and available for agency inspectors at all times during normal working hours, unless the Division of Water Quality provides a site-specific exemption based on unique site conditions that make this requirement not practical. Older records must be maintained for a period of three years after project completion and made available upon request. The records must provide the details of each inspection including observations, and actions taken in accordance with this permit. The permittee shall record the required rainfall and monitoring observations on the Inspection Record form provided by the Division or a similar inspection form that is inclusive of all of the elements contained in the Division's form. Use of electronically-available records, in lieu of the required paper copies for inspection will be allowed if shown to provide equal access and utility as the hard-copy records.
 - h) Inspection records must include, at a minimum, the following:
 - i) Control Measure Inspections: Inspection records must include at a minimum: 1) identification of the measures inspected, 2) date and time of the inspection, 3) name of the person performing the inspection, 4) indication of whether the measures were operating properly, 5) description of maintenance needs for the measure, 6) corrective actions taken (7) date of actions taken, as well as the date and amounts of rainfall received.
 - ii) Stormwater Discharge Inspections: Inspection records must include at a minimum: 1) identification of the discharge outfall inspected, 2) date and time of the inspection, 3) name of the person performing the inspection, 4) evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5) indication of visible sediment leaving the site 6) actions taken to correct/prevent sedimentation and 7) date of actions taken.
 - iii) Visible Sedimentation Found Outside the Site Limits: Inspection records must include: 1) an explanation as to the actions taken to control future releases, 2) actions taken to clean up or stabilize the sediment that has left the site limits and 3) the date of actions taken.
 - iv) Visible Sedimentation Found in Streams or Wetlands: All inspection should include evaluation of streams or wetlands onsite or offsite (where accessible) to determine if visible sedimentation has occurred.
 - v) Visible Stream Turbidity - If the discharge from a site results in an increase in visible stream turbidity, inspection records must record that evidence and actions taken to reduce sediment contribution. Sites discharging to streams named on the state's 303(d) list as impaired for sediment-related causes may be required to perform additional monitoring, inspections or application of more-stringent management practices if it is determined that the additional requirements are needed to assure compliance with the federal or state impaired-waters conditions. If a discharge covered by this permit enters a stream segment that is listed on the Impaired Stream List for sediment-related causes, and a Total Maximum Daily Load (TMDL) has been prepared for those pollutants, the permittee must implement measures to ensure that the discharge of pollutants from the site is consistent with the assumptions and meets the requirements of the approved TMDL. The Division of Water Quality 303(d) list can be found at: http://h2o.enr.state.nc.us/tmdl/General_303d.htm/.
- SILT FENCE MAINTENANCE**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

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COOPERATIVA LATINO CREDIT UNION

LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC

PROFESSIONAL ENGINEER SEAL
050226
ROBERT W. INGA

REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	LAB23003
FILENAME	LAB23003E3
CHECKED BY	RTW
DRAWN BY	MJD
SCALE	NTS
DATE	07.23.2024

EROSION CONTROL PLAN DETAILS

C6.04

M:\Projects\LAB23003\04 Production\Engineering\Construction Drawings\Current Drawings\LAB23003E3.dwg, 7/23/2024 5:43:41 PM, Mikahil Blackwood



McADAMS

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CLIENT

LATINO COMMUNITY CREDIT UNION
100 WEST MORGAN STREET
DURHAM, NC 27701
PHONE: 919. 595. 1733



LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003EC3
CHECKED BY RTW
DRAWN BY MJD
SCALE NTS
DATE 07.23.2024

SHEET

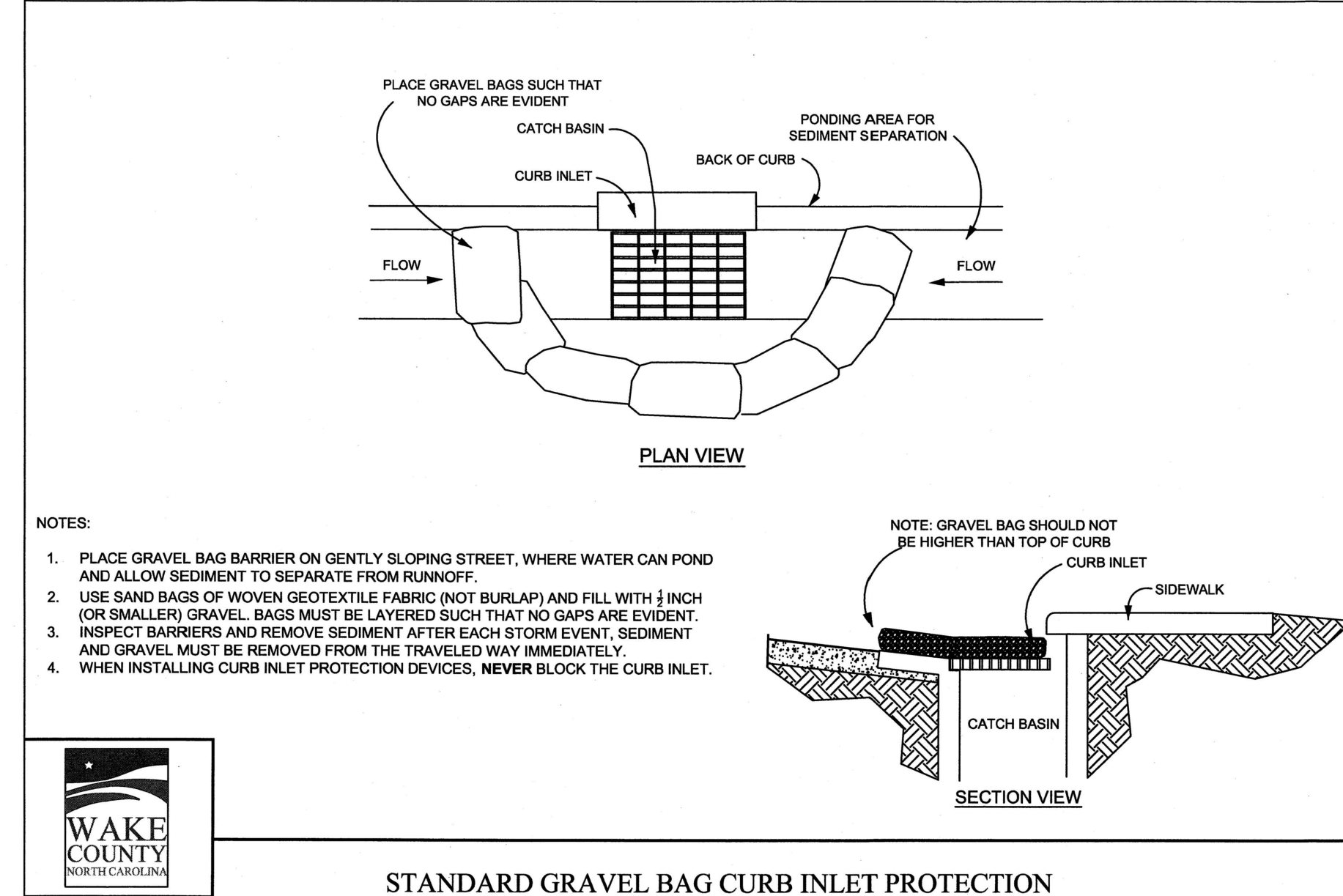
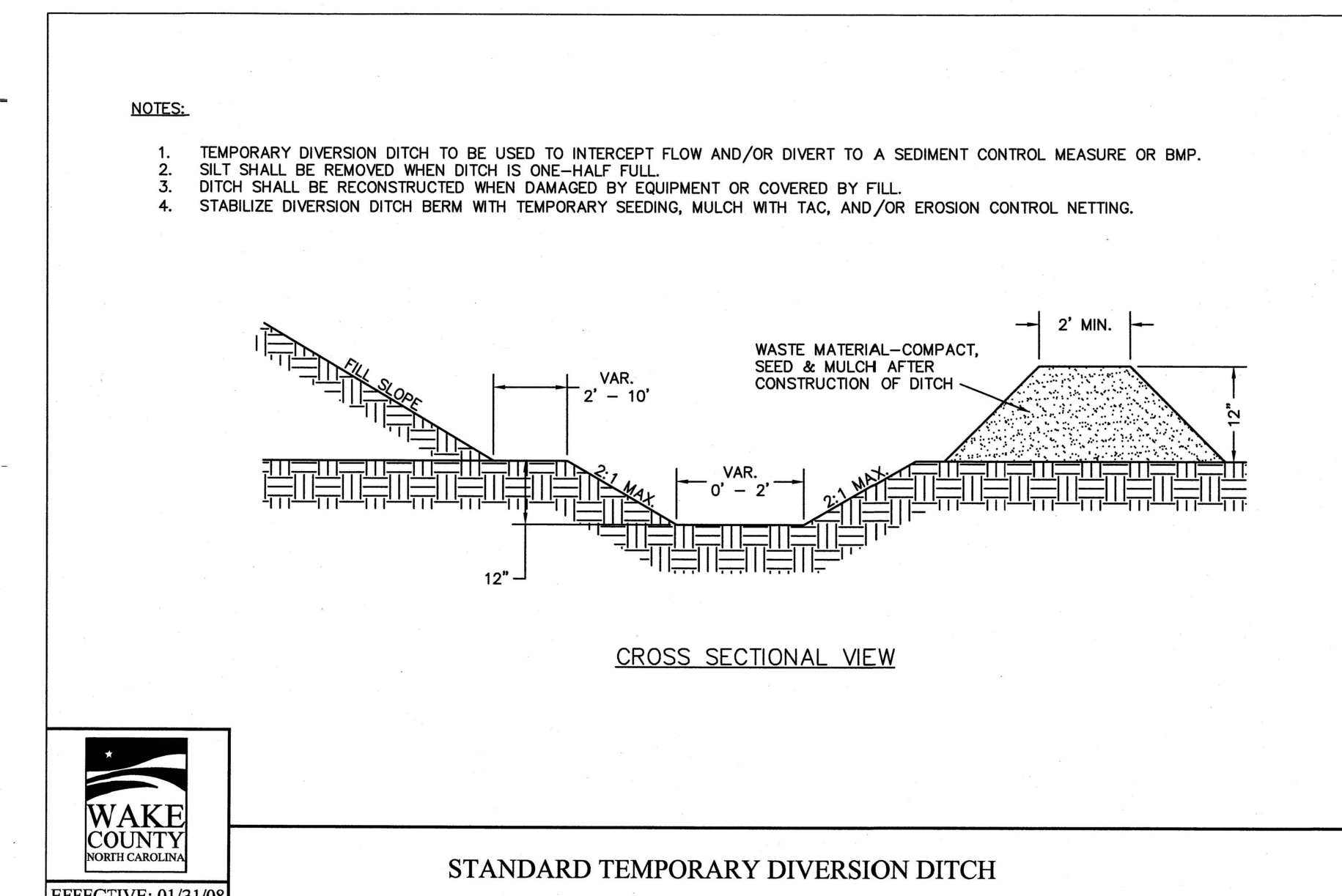
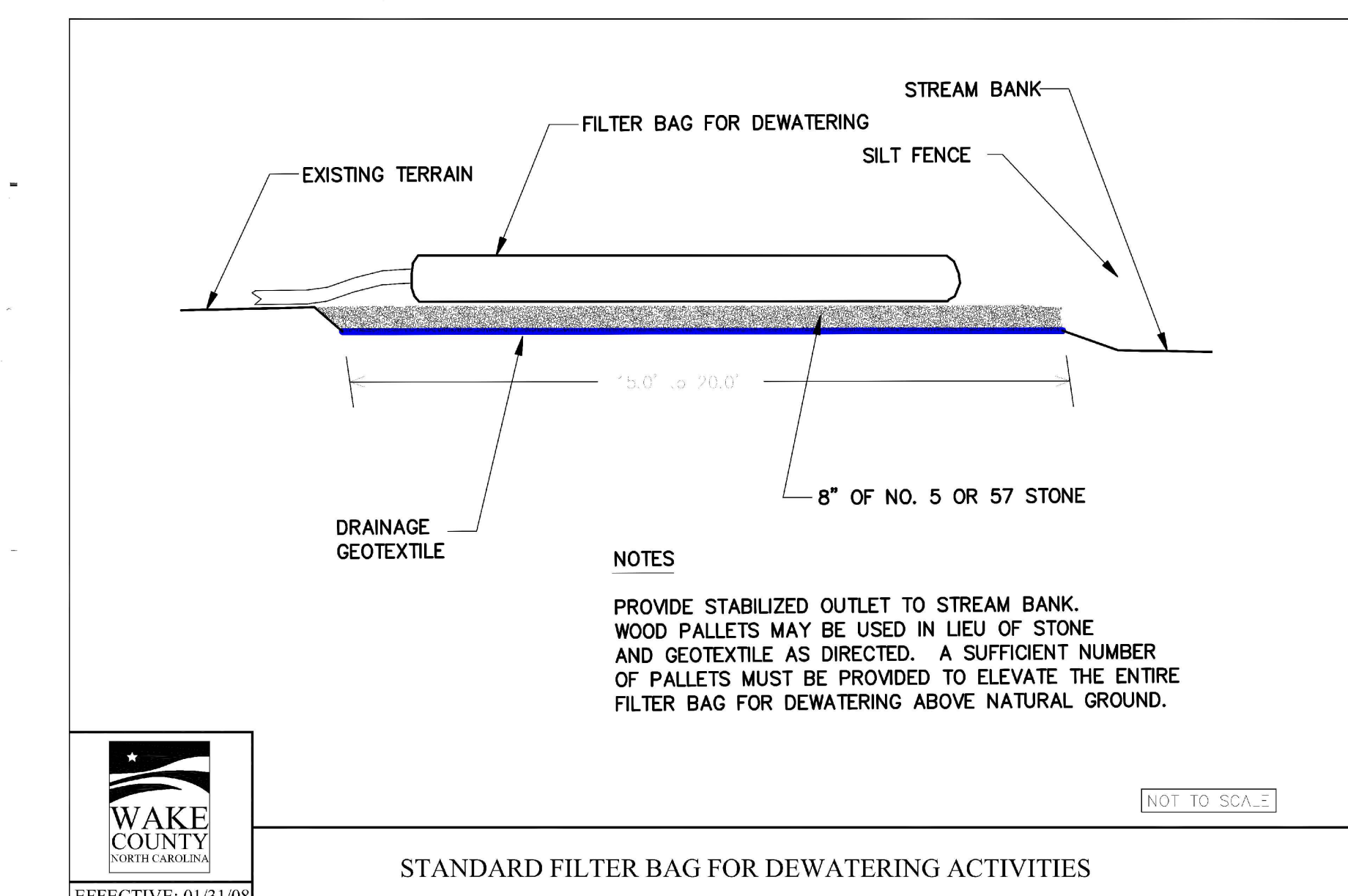
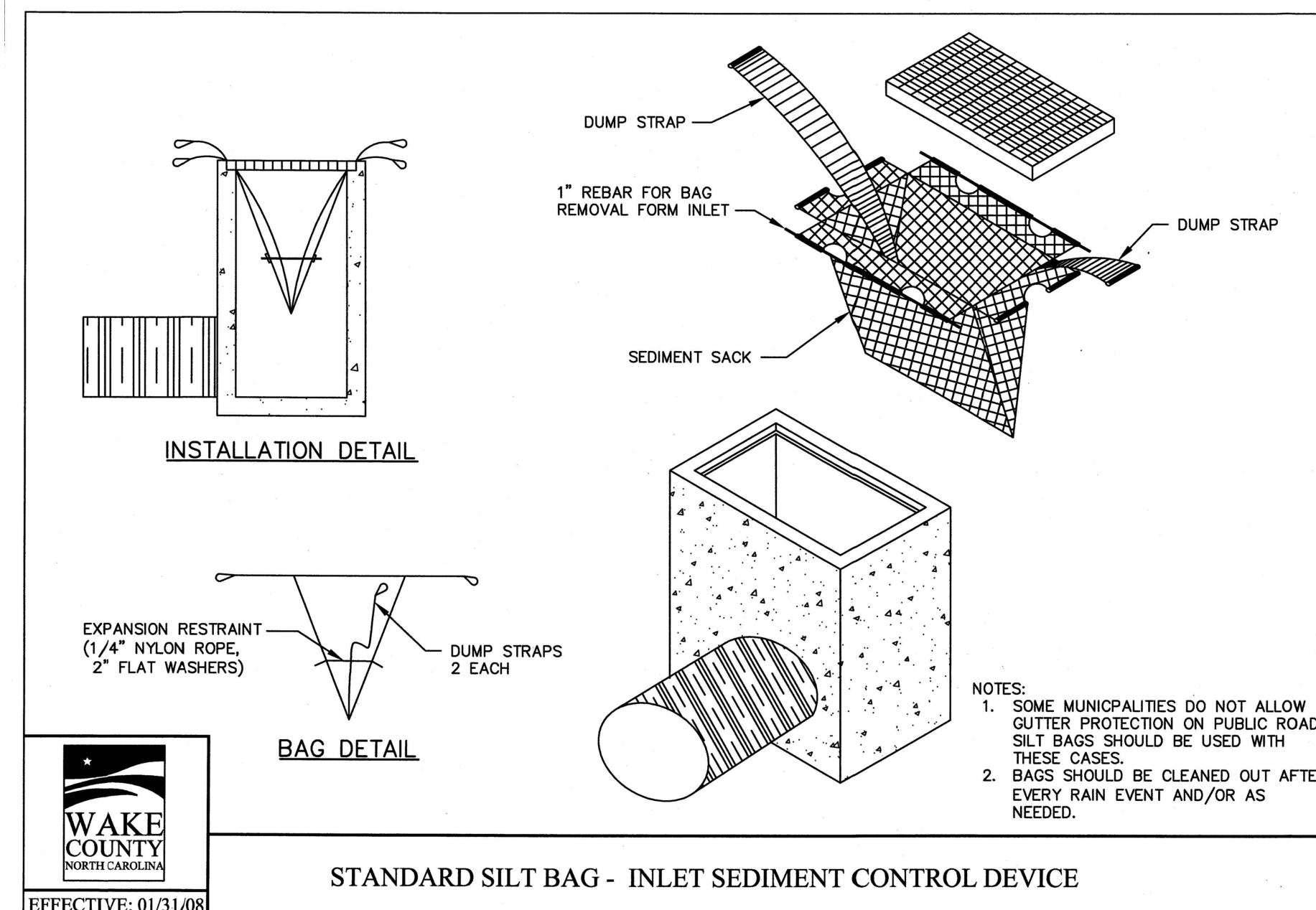
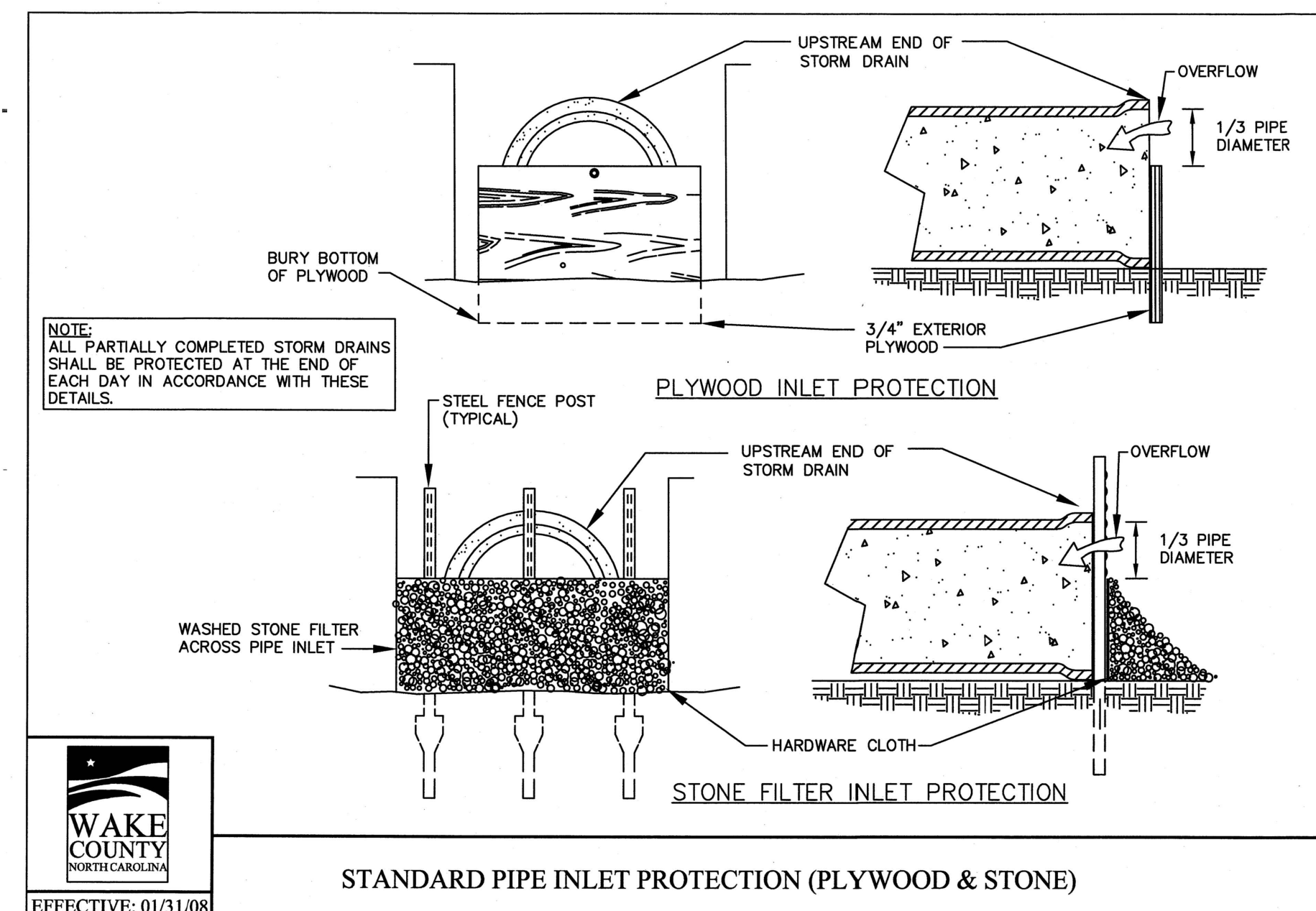
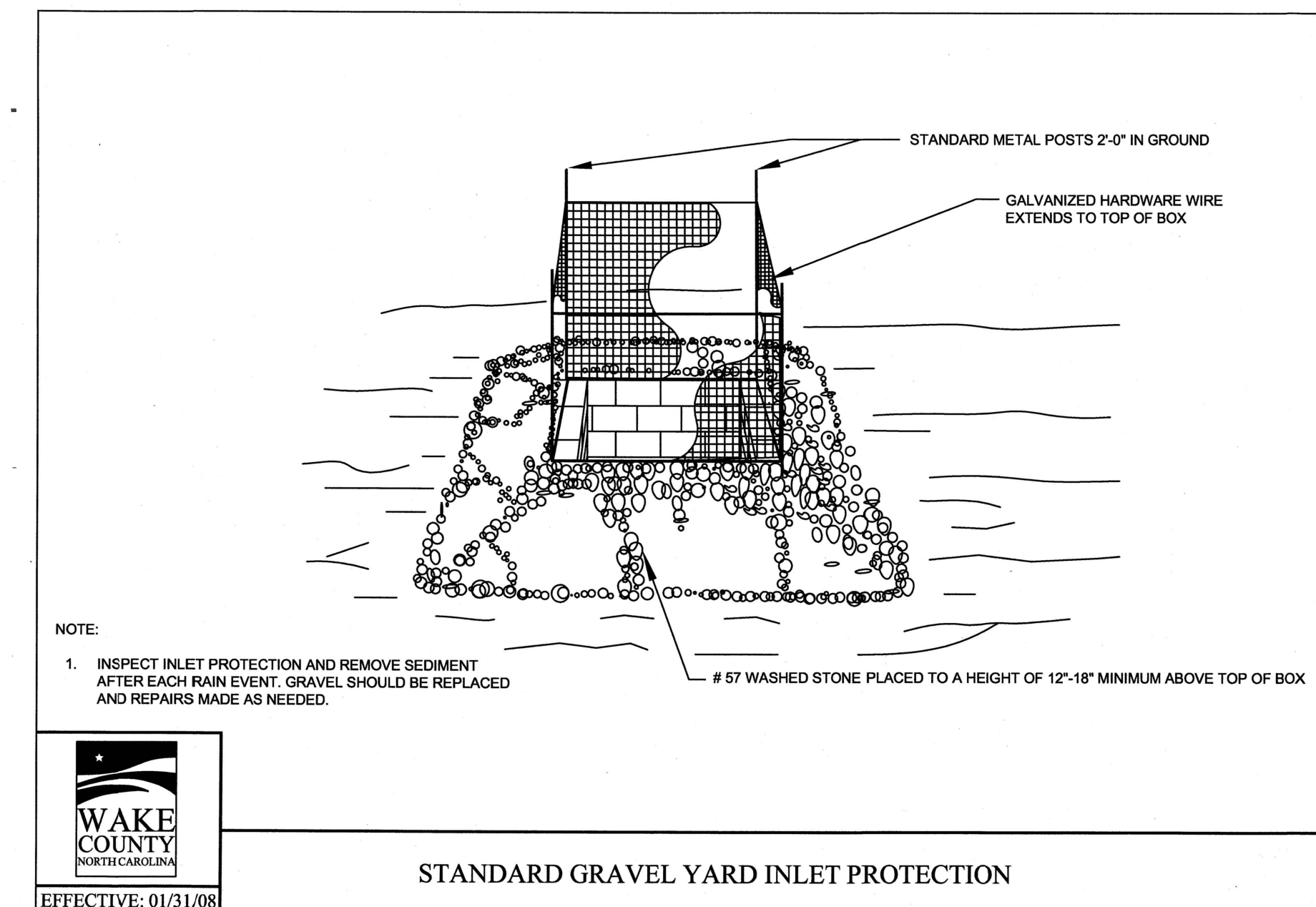
EROSION CONTROL
PLAN DETAILS

C6.05

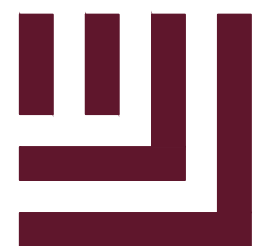
TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION



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McADAMS

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CLIENT

LATINO COMMUNITY CREDIT UNION 100 WEST MORGAN STREET DURHAM, NC 27701 PHONE: 919.595.1733



LCCU - MORRISVILLE SITE PLAN / CONSTRUCTION PLAN 9521 CHAPEL HILL RD. MORRISVILLE, NC



REVISIONS

Table with 3 columns: NO., DATE, DESCRIPTION. Shows 6 revision entries.

PLAN INFORMATION

PROJECT NO. LAB23003 FILENAME LAB23003EC3 CHECKED BY RTW DRAWN BY MJD SCALE NTS DATE 07.23.2024

EROSION CONTROL PLAN DETAILS

C6.06

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

CONTRACTOR TO VERIFY AND COMPLETE NOI USING THE INFORMATION TABLE BELOW:

NCG010000 NOTICE OF INTENT (NOI) INFORMATION TABLE

Table with 3 columns: Number, Section, Field. Contains 17 rows of information regarding project location and waterbody information.

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control Plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, Timeframe variations. Lists requirements for perimeter dikes, HQW zones, slopes, and areas with slopes flatter than 4:1.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table with 2 columns: Temporary Stabilization, Permanent Stabilization. Lists methods like hydroseeding, mulch, straw, geotextiles, and structural methods.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants. 2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. 3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions. 4. Provide ponding area for containment of treated stormwater before discharging offsite. 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids. 2. Provide drip pans under any stored equipment. 3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project. 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible). 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected. 6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste. Place litter and debris in approved waste containers. 2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes. 3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available. 4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. 5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. 6. Anchor all lightweight items in waste containers during times of high winds. 7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow. 8. Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

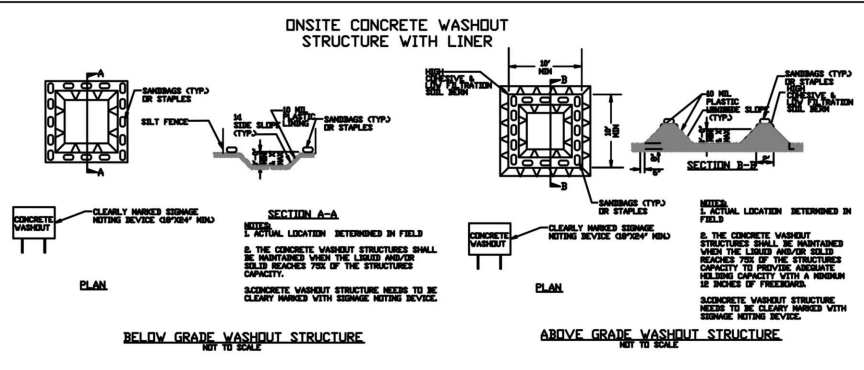
- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands. 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available. 3. Contain liquid wastes in a controlled area. 4. Containment must be labeled, sized and placed appropriately for the needs of site. 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags. 2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas. 3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available. 2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile. 3. Provide stable stone access point when feasible. 4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- 1. Do not discharge concrete or cement slurry from the site. 2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility. 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence. 4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail. 5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project. 6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlets(s) closest to the washout which could receive spills or overflow. 7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority. 8. Locate at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location. 9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions. 10. At the completion of the concrete work, remove remaining leavings and dispose in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions. 2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning. 3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately. 4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- 1. Create designated hazardous waste collection areas on-site. 2. Place hazardous waste containers under cover or in secondary containment. 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Table with 3 columns: Inspect, Frequency (during normal business hours), Inspection records must include: (1) Rain gauge maintained in good working order, (2) E&S Measures, (3) Stormwater outfalls (DOC), (4) Perimeter of site, (5) Streams or wetlands onsite or offsite (where applicable), (6) Ground stabilization measures.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Table with 2 columns: Item to Document, Documentation Requirements. Lists requirements for E&S plan documentation, grading phases, ground cover, maintenance and repair, and corrective actions.

2. Additional Documentation to be Kept on Site

- (a) This General Permit as well as the Certificate of Coverage, after it is received. (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland. (b) Oil spills if: • They are 25 gallons or more, • They are less than 25 gallons but cannot be cleaned up within 24 hours, • They cause sheen on surface waters (regardless of volume), or • They are within 100 feet of surface waters (regardless of volume).

(c) Release of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref. 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref. 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Table with 2 columns: Occurrence, Reporting Timeframes (After Discovery) and Other Requirements. Lists requirements for sediment deposition, oil spills, and hazardous substances.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASIN FOR MAINTENANCE OR CLOSE OUT

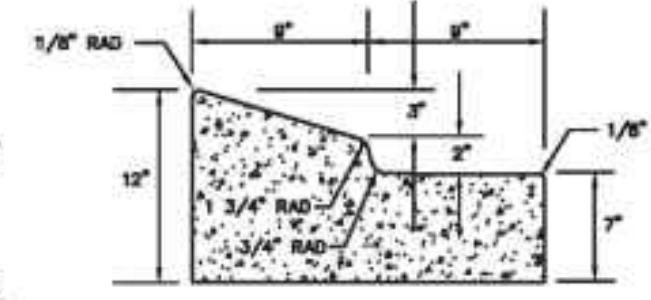
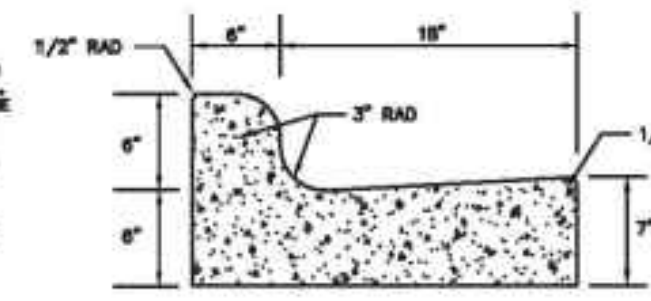
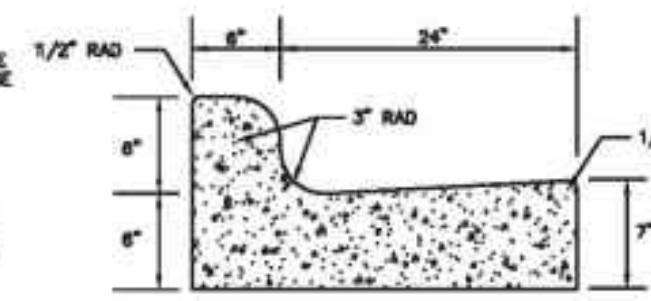
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items. (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit. (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems. (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above. (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and (f) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.



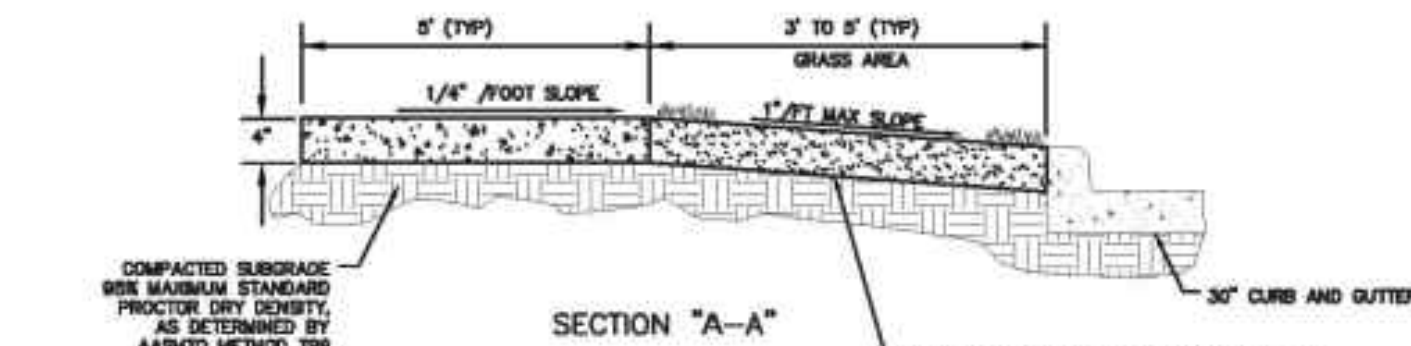
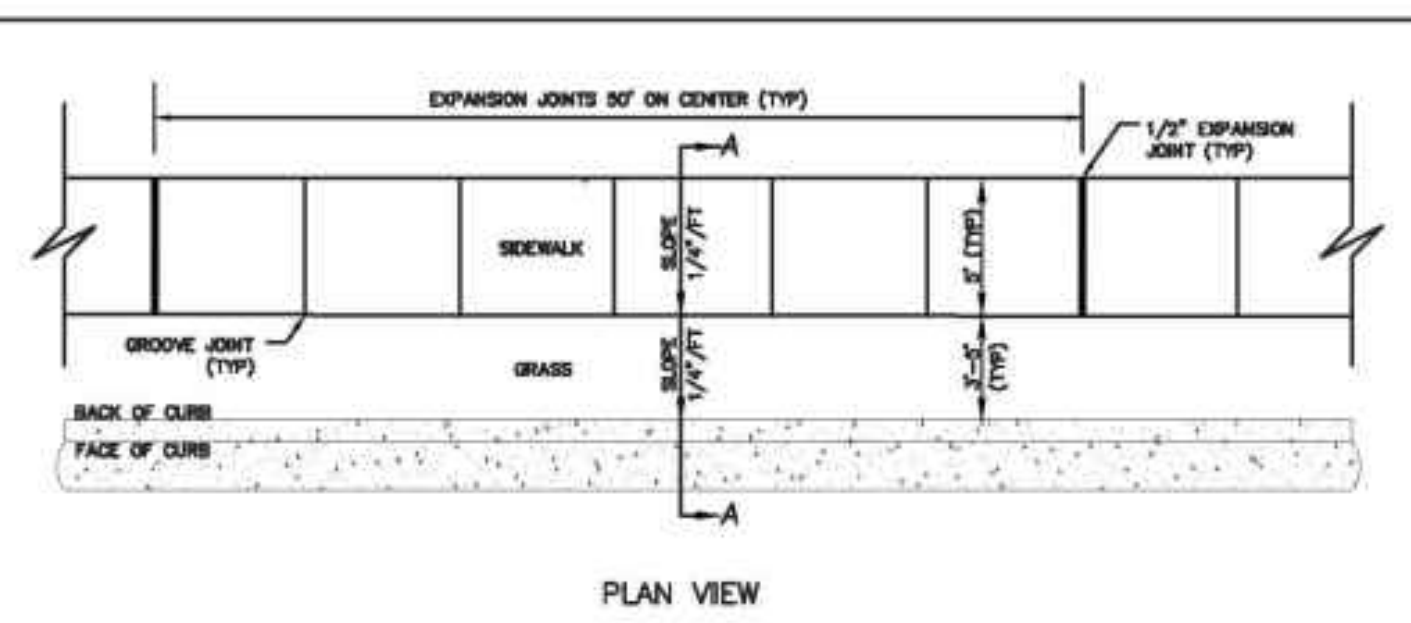
C.2. Concrete Curb and Gutter Detail

- MATERIALS**
1. PORTLAND CEMENT CONCRETE, CLASS A, PER SECTION 1000 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 2. CURING AGENTS, PER SECTION 1028 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 3. JOINT FILLERS, PER SECTION 1028-1 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 4. JOINT SEALERS, PER SECTIONS 1028-2, 1028-4 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
- GENERAL**
5. CONSTRUCT CONCRETE CURB AND GUTTER IN ACCORDANCE WITH SECTION 805 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES AND ONE A SIDEWALK FINISH, EXCEPT AS OTHERWISE PROVIDED WITHIN THE TOWN OF MORRISVILLE DESIGN AND CONSTRUCTION ORDINANCE AND PER THIS DETAIL.
 6. GIVE SURFACE A LIGHT BROWN FINISH WITH BRUSH MARKS PARALLEL TO THE CURB LINE OR GUTTER LINE.
 7. BACKFILL MATERIAL SHALL BE FREE OF STONES GREATER THAN FOUR (4) INCHES IN DIAMETER. CONSTRUCTION MATERIAL, FRESH MATERIAL, ORGANIC MATTER, OR UNDESIRABLE MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN LIFTS OF EIGHT (8) INCHES OR LESS OF THE UNCOMPACTED SOIL. THE TOP THREE (3) INCHES OF BACKFILL UNDER A PROPOSED ROADWAY, AND THE ENTIRE BASE COURSE, SHALL BE COMPACTED TO A DENSITY OF 100% BASED UPON PROCTOR DRY DENSITY AS DETERMINED BY ASTM METHOD T99.
 8. PREPARE FOUNDATION AND COMPACT BASE OR SUBGRADE TO THE DEGREE REQUIRED BY THE APPLICABLE SECTION OF THE SPECIFICATIONS BEFORE PLACING FORMS.
- FORMS**
9. USE FORMS THAT HAVE NO MORE THAN 1/8" IN 10 FEET DEFLECTION FROM THE LINE HORIZONTALLY AND VERTICALLY TO ADEQUATELY SUPPORT THE CONCRETE AND CONSTRUCTION EQUIPMENT.
 10. OBTAIN APPROVAL BEFORE PLACING CONCRETE.
- JOBS**
11. LOCATE JOINTS AS SHOWN ON THE PLANS EXCEPT AS PROVIDED HEREIN.
 12. SPACING JOINTS NO CLOSER THAN 5 FEET.
 13. CONTRACTION JOINTS SHALL BE PLACED AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE POUR IS BEING USED.
 14. EXPANSION JOINTS SHALL BE PLACED AT 50' INTERVALS, AND ADJACENT TO ALL ROAD OBJECTS.
 15. FORM GROOVED CONTRACTION JOINTS AS REQUIRED BY SUBARTICLE 805-10(b) OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 16. CONSTRUCT GROOVED BUTT JOINT BETWEEN THE WORK AND ADJACENT PAVEMENT EXCEPT WHERE EXPANSION JOINTS ARE REQUIRED BY PLANS. FORM BUTT JOINTS AS REQUIRED BY SUBARTICLE 805-10(b) OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES FOR GROOVED CONTRACTION JOINTS AND SEAL.
 17. SEAL ALL JOINTS EXCEPT FOR JOINTS IN CURB SECTION 5 NOT HAVING AN INTEGRAL GUTTER.
 18. FILL JOINTS IN GUTTER WITH JOINT SEALER TO THE TOP SURFACE OF THE GUTTER.
 19. SEAL JOINTS BEFORE BACKFILLING OR PERFORMING ADJACENT OPERATIONS.
 20. SEAL JOINTS BEFORE BACKFILLING OR PERFORMING ADJACENT OPERATIONS.
- SURFACE TOLERANCES**
21. FINISH SURFACE WITHIN 1/4" WHICH CHECKED LONGITUDINALLY WITH A 10 FOOT STRAIGHTEDGE.



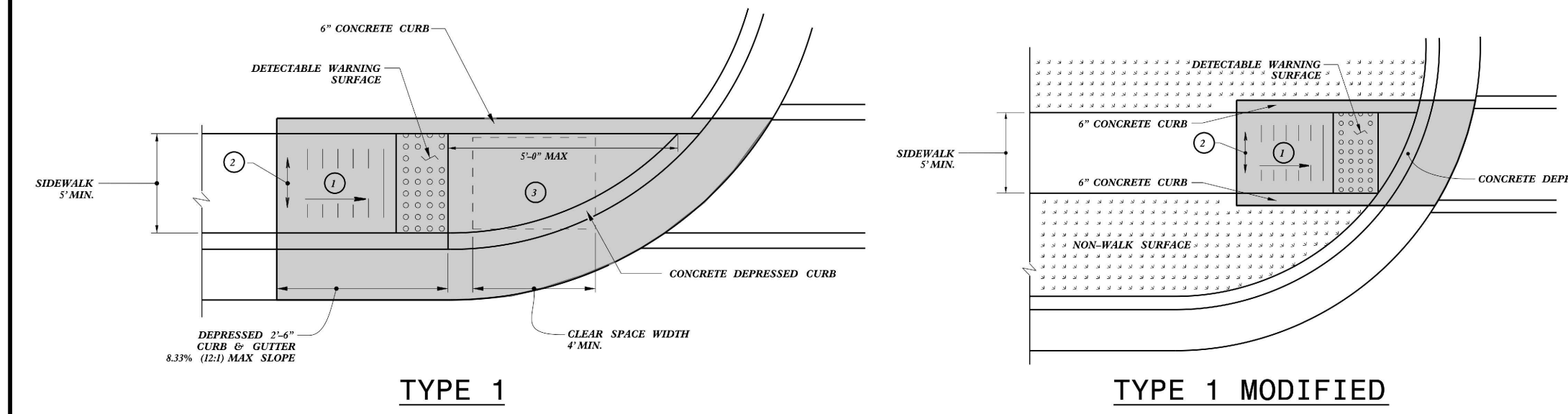
Town of Morrisville Engineering Department			
REVISIONS	DATE	BY	CHK
	07/21/14		
Concrete Curb and Gutter Detail			
Std. No. MV-2			

C.3. Concrete Sidewalk Detail

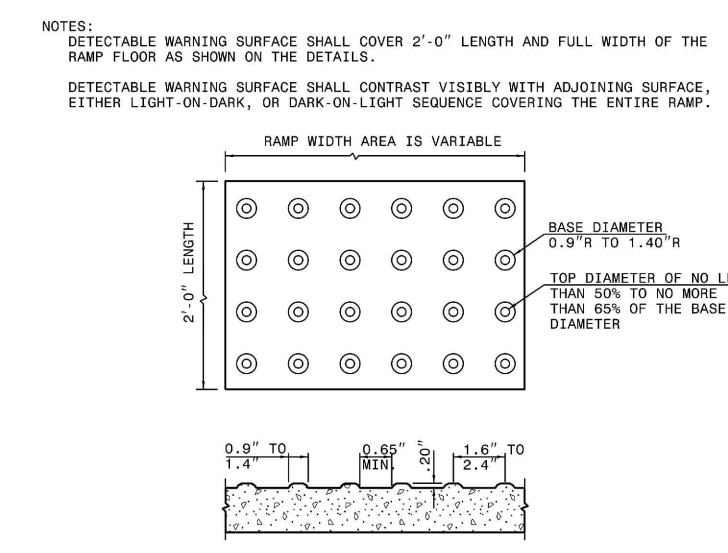


- MATERIALS**
1. PORTLAND CEMENT CONCRETE, CLASS A, PER SECTION 1000 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 2. CURING AGENTS, PER SECTION 1028 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 3. JOINT FILLERS, PER SECTION 1028-1 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
 4. JOINT SEALERS, PER SECTIONS 1028-2, 1028-4 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES.
- GENERAL**
5. STANDARD SIDEWALK WIDTH SHALL BE 5' AND THICKNESS SHALL BE 4" UNLESS OTHERWISE NOTED ON PLANS.
 6. A GROOVE JOINT WITH 1/8" RAZEL AT A MINIMUM DEPTH OF 1/2" OF THE TOTAL SLAB THICKNESS AND A WIDTH OF 1/4" SHALL BE REQUIRED IN THE CONCRETE AT 5' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED AT A MINIMUM 50' INTERVAL AND WHERE THE CONCRETE JOINS ANY ROAD STRUCTURE.
 7. WHERE IT IS NECESSARY TO REMOVE A PORTION OF EXISTING SIDEWALKS OR DRIVEWAYS, SAW A NEAT EDGE ALONG THE PAVEMENT TO BE RETAINED, APPROXIMATELY 2" DEEP WITH A CONCRETE SAW BEFORE BREAKING THE ADJACENT PAVEMENT AWAY.
 8. CONSTRUCT CONCRETE IN ACCORDANCE WITH SECTION 805 OF THE CURRENT NCOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES AND GIVE A SIDEWALK FINISH, EXCEPT AS OTHERWISE PROVIDED WITHIN THE TOWN OF MORRISVILLE DESIGN AND CONSTRUCTION ORDINANCE AND PER THIS DETAIL.
 9. BROOM THE CONCRETE SURFACE IN A TRANSVERSE DIRECTION TO TRAFFIC MAKE JOINT SPACING NO LESS THAN 5 FEET. WHERE EXISTING CONCRETE IS BEING REWORKED, LINE UP NEW TRANSVERSE JOINTS WITH EXISTING JOINTS IN THE ADJACENT CONCRETE. EDGES TO TOOLED WITH A 1/4" RADIUS. THE TOP 1/2" OF THE EXPANSION JOINTS AND 1" OF CONTRACTION JOINTS SHALL BE FILLED AND SEALED WITH APPROVED JOINT SEALING COMPOUND. DO NOT SEAL GROOVED JOINTS.

Town of Morrisville Engineering Department			
REVISIONS	DATE	BY	CHK
	07/21/14		
Concrete Sidewalk Detail			
Std. No. MV-3			

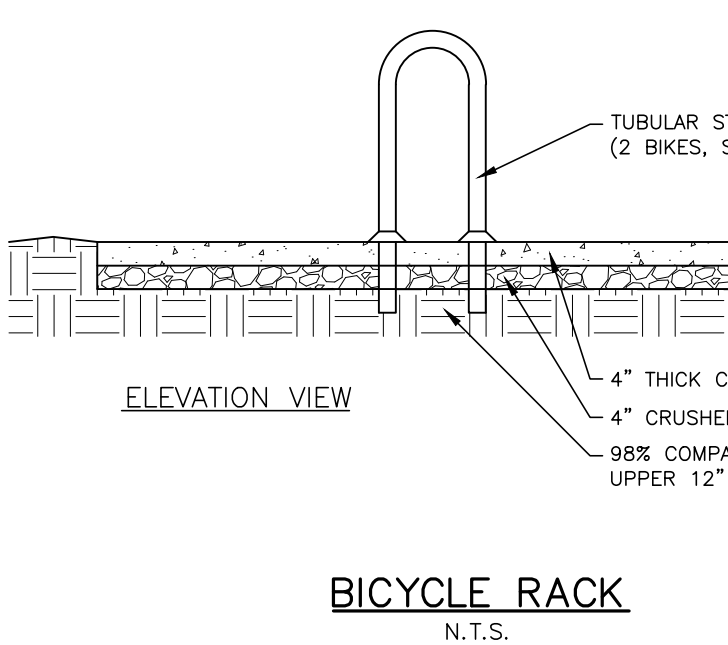
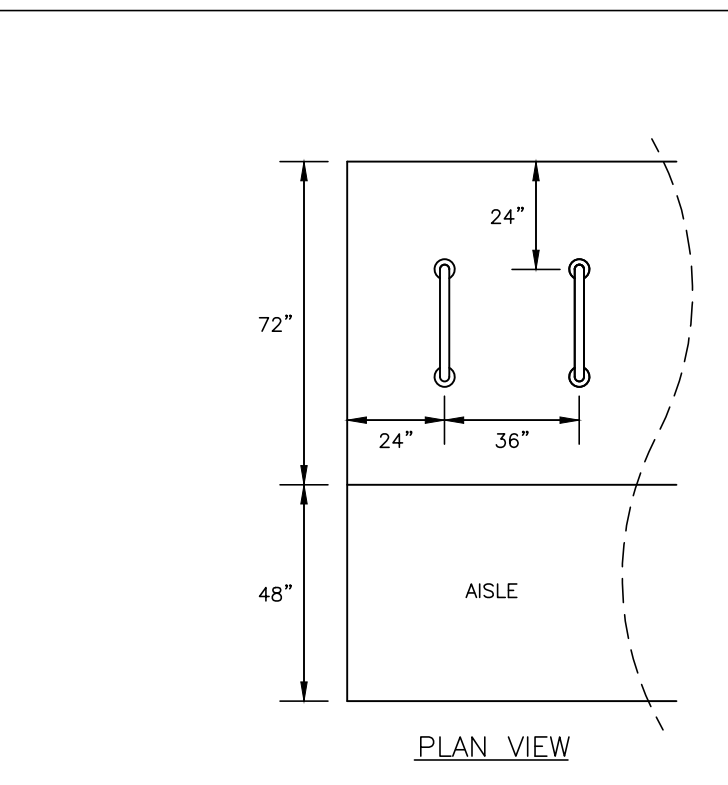


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- 2. CROSS SLOPE: 2.0%
- 3. MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0%

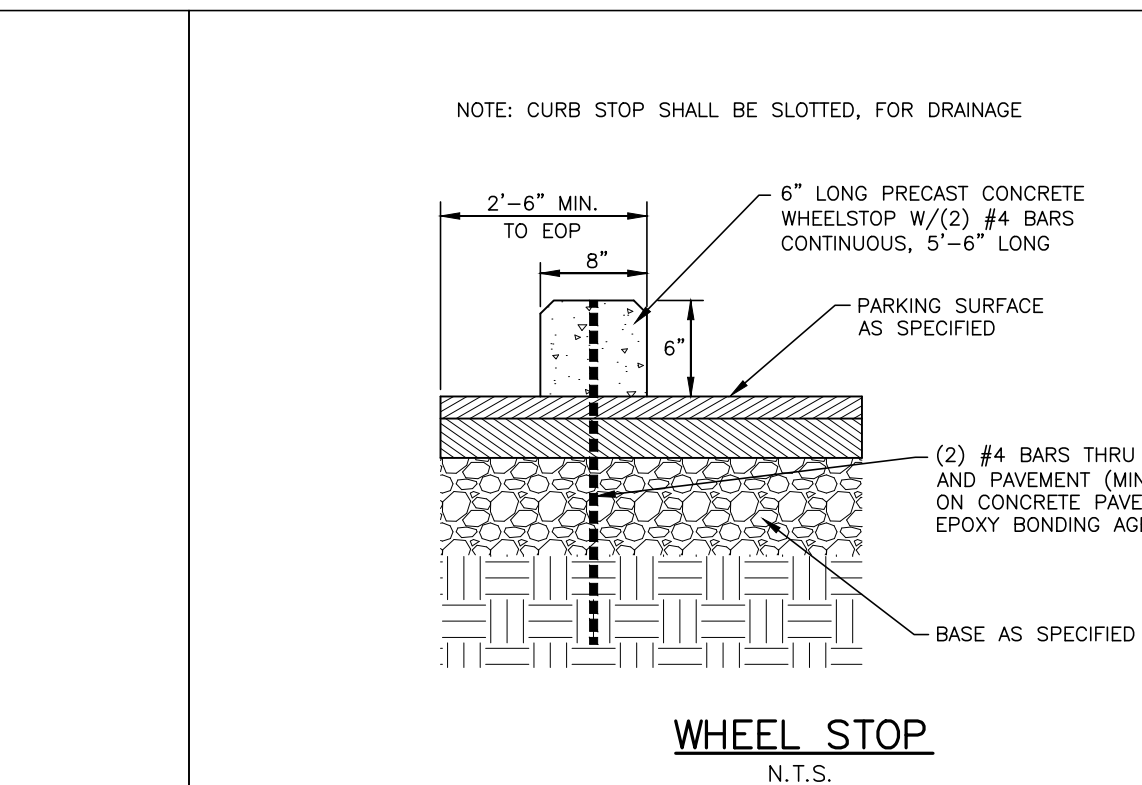


DETECTABLE WARNING SURFACE

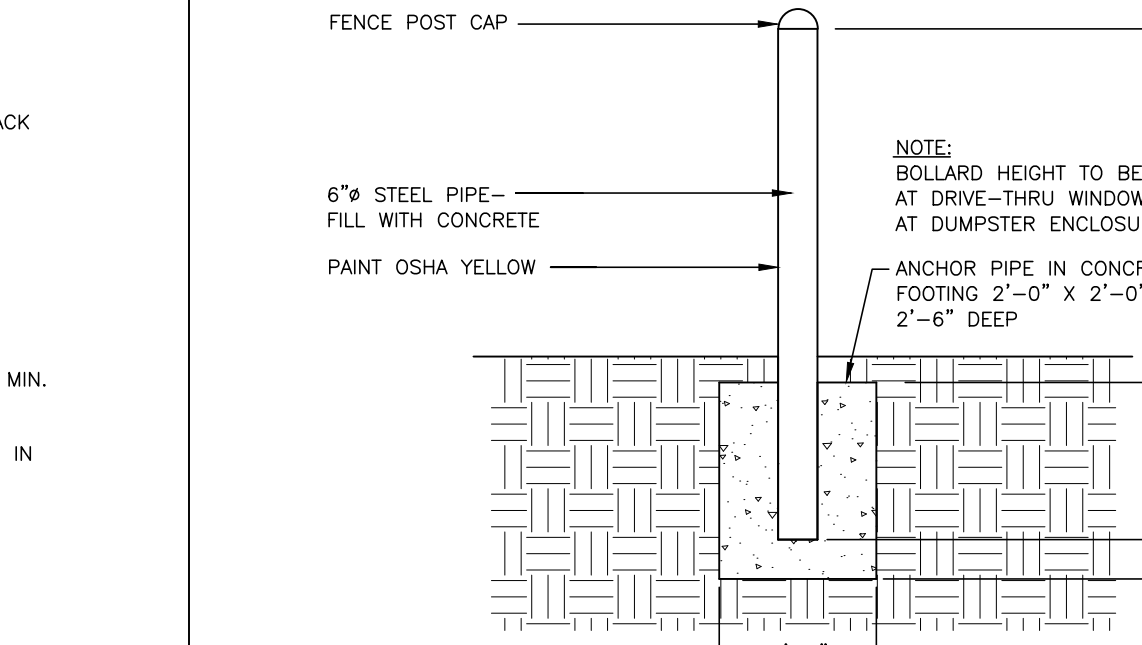
PAY LIMITS FOR 1 CURB RAMP



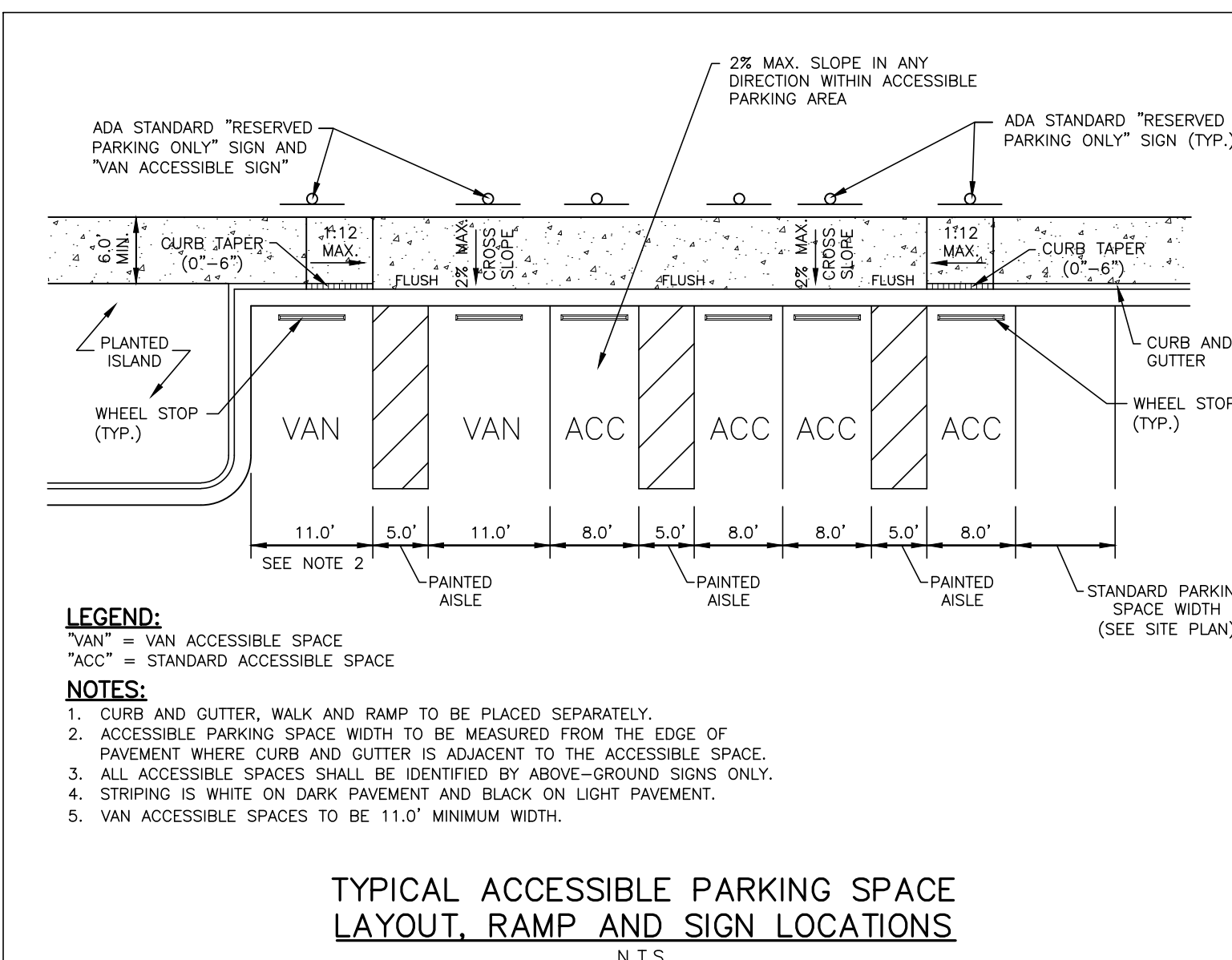
BICYCLE RACK N.T.S.



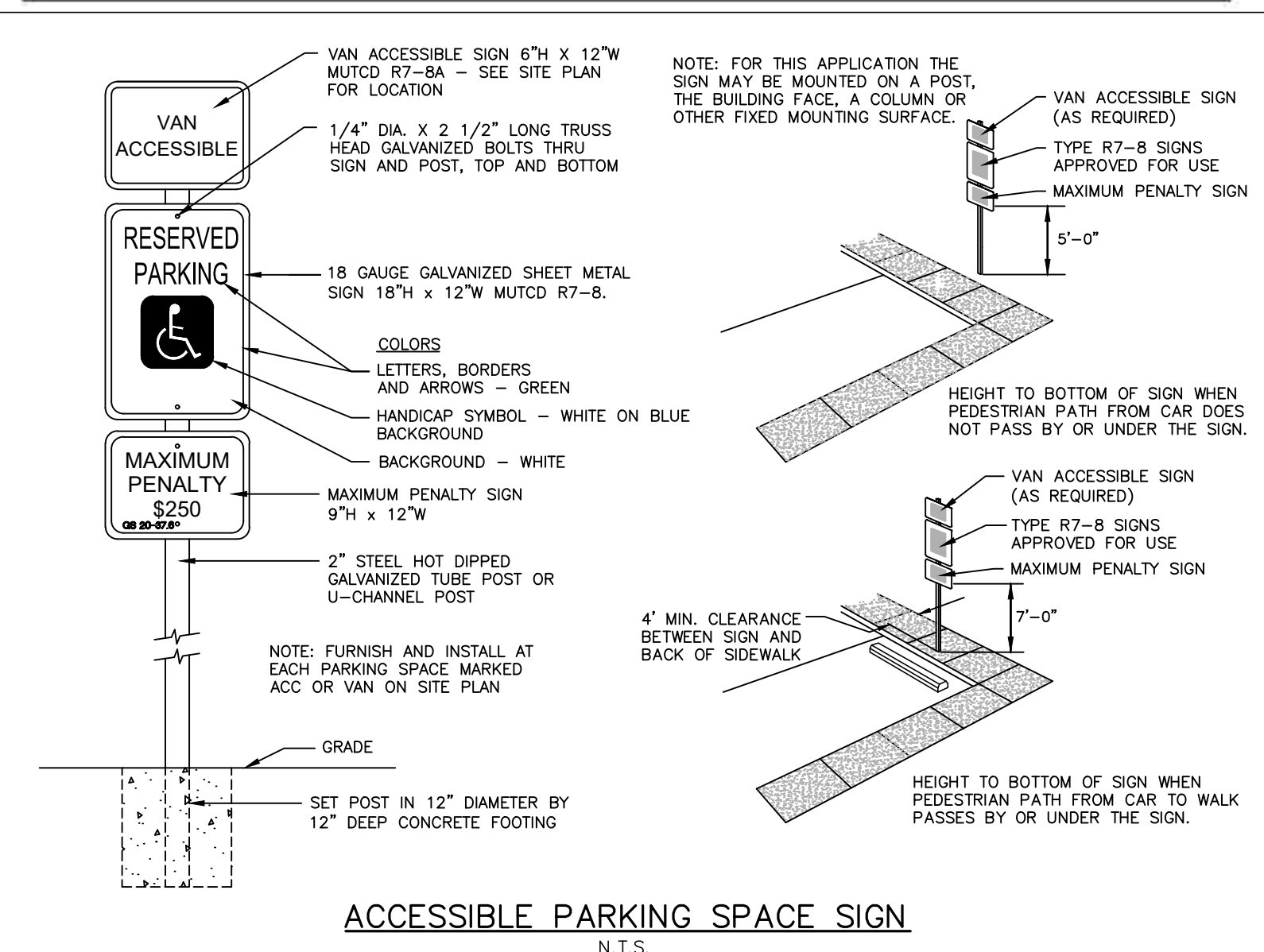
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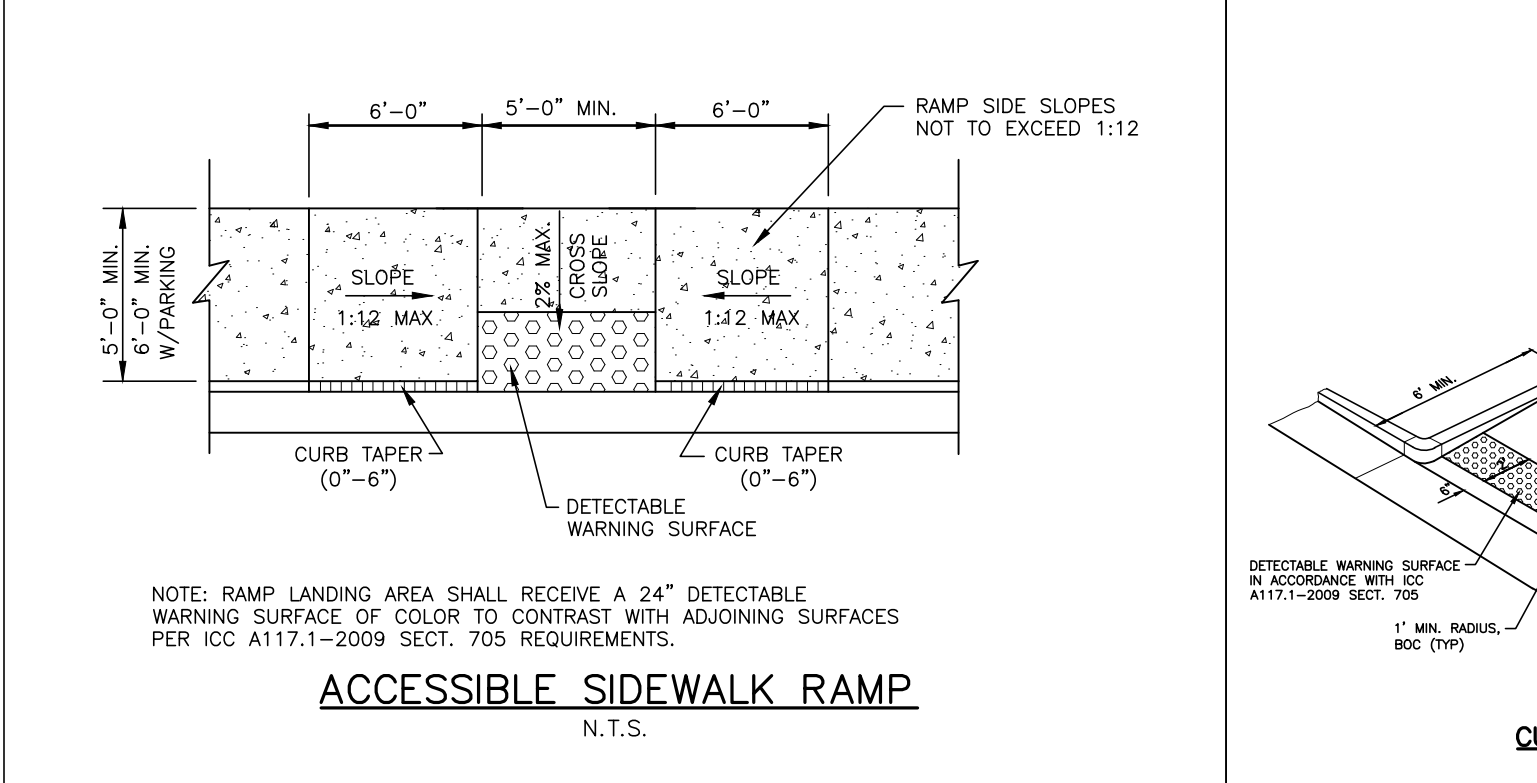
STEEL PIPE BOLLARD N.T.S.



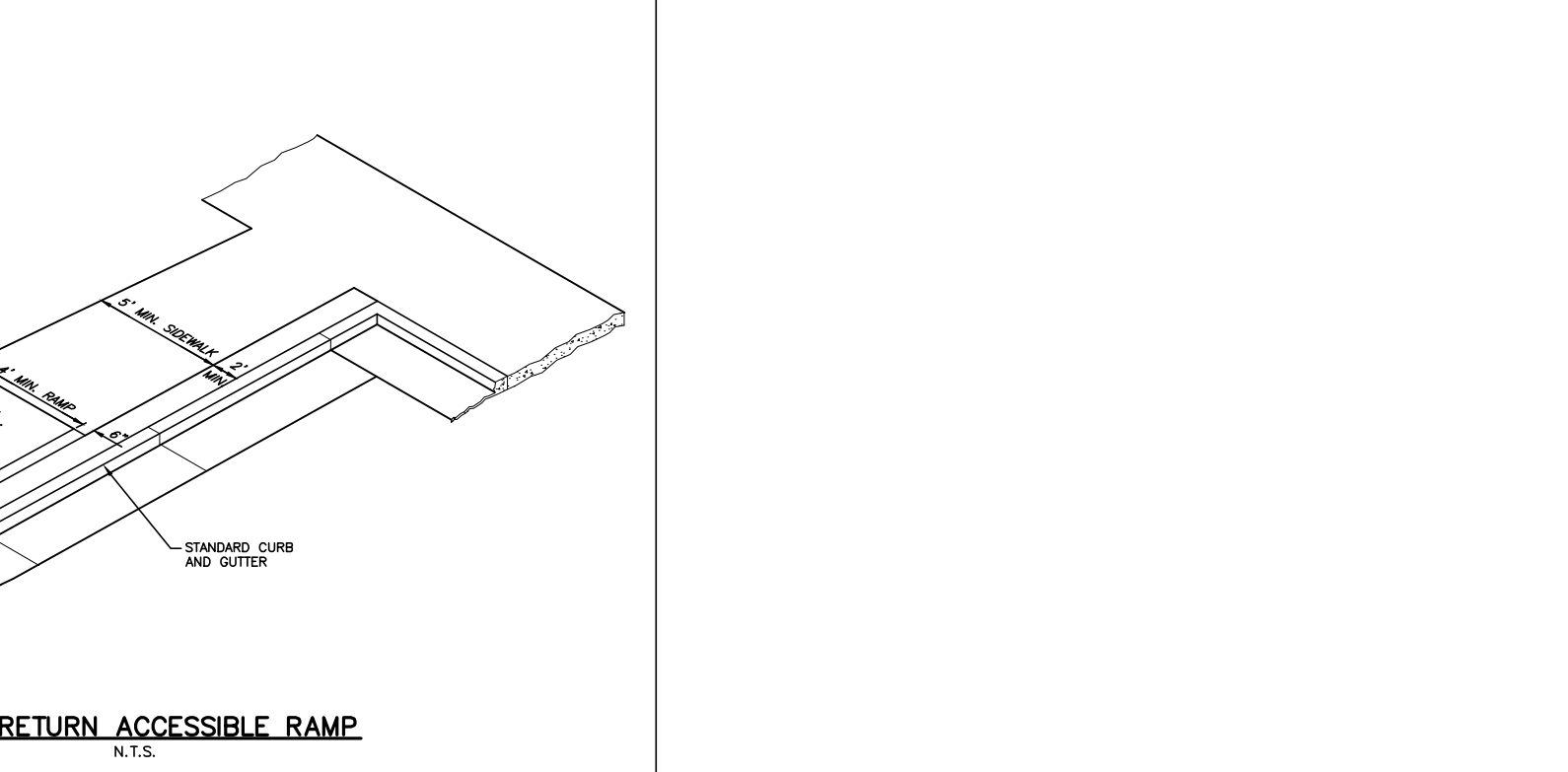
TYPICAL ACCESSIBLE PARKING SPACE LAYOUT, RAMP AND SIGN LOCATIONS N.T.S.



ACCESSIBLE PARKING SPACE SIGN N.T.S.



ACCESSIBLE SIDEWALK RAMP N.T.S.



CURB RETURN ACCESSIBLE RAMP N.T.S.

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR
CURB RAMP
 DIRECTIONAL RAMP
 SHEET 6 OF 13
848.06

McADAMS
 The John R. McAdams Company, Inc.
 621 Hillsborough Street, Suite 500
 Raleigh, NC 27603
 phone 919. 361. 5000
 fax 919. 361. 2269
 NC license number: C-0293, C-187
 www.mcadamsco.com

CLIENT
 LATINO COMMUNITY CREDIT UNION
 100 WEST MORGAN STREET
 DURHAM, NC 27701
 PHONE: 919. 595. 1733



LCCU - MORRISVILLE
 SITE PLAN / CONSTRUCTION PLAN
 9521 CHAPEL HILL RD.
 MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
 FILENAME LAB23003D1
 CHECKED BY RTW
 DRAWN BY MJD
 SCALE NTS
 DATE 07.23.2024

SHEET

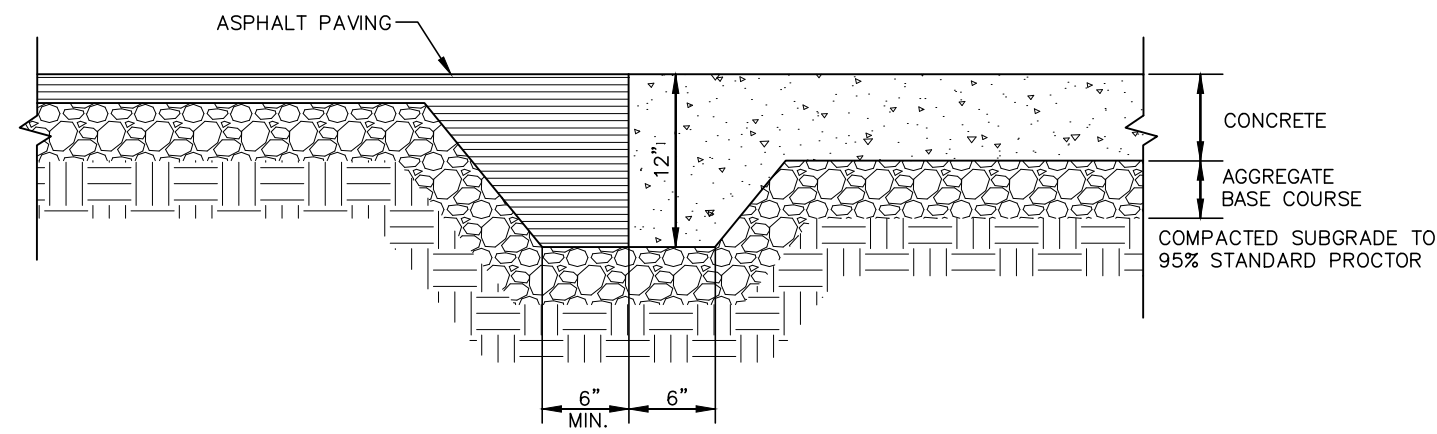
SITE DETAILS

C8.00

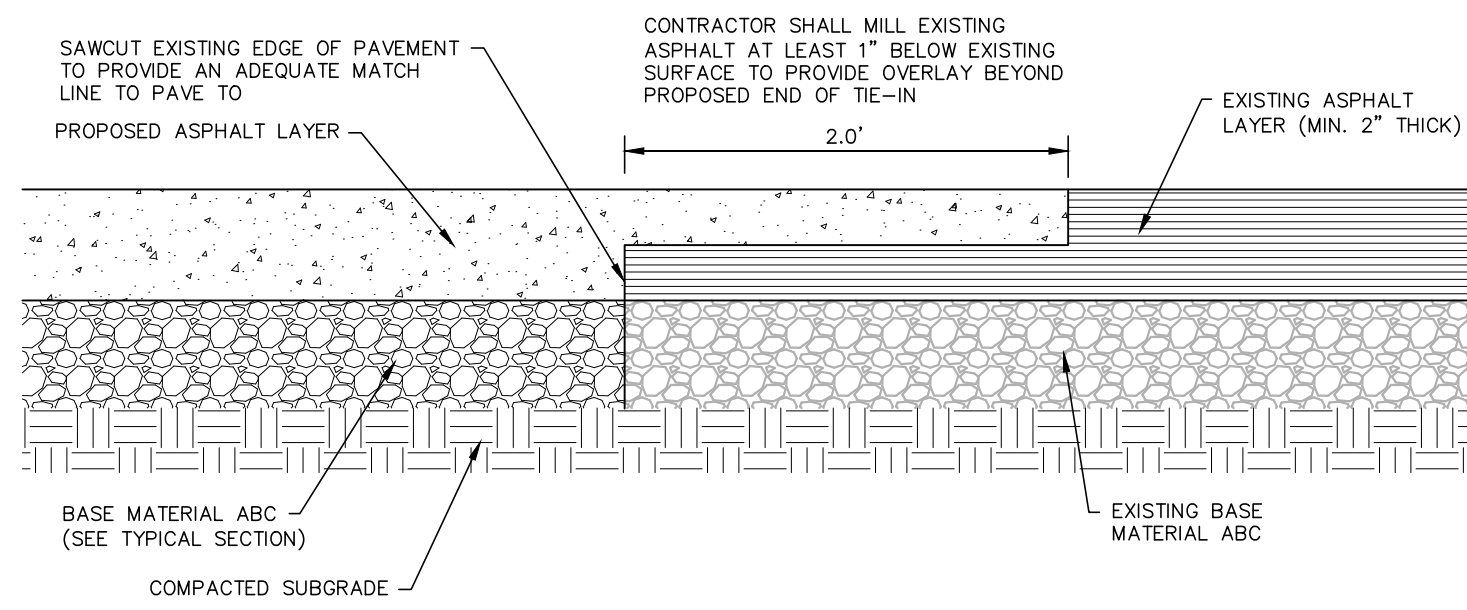
TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

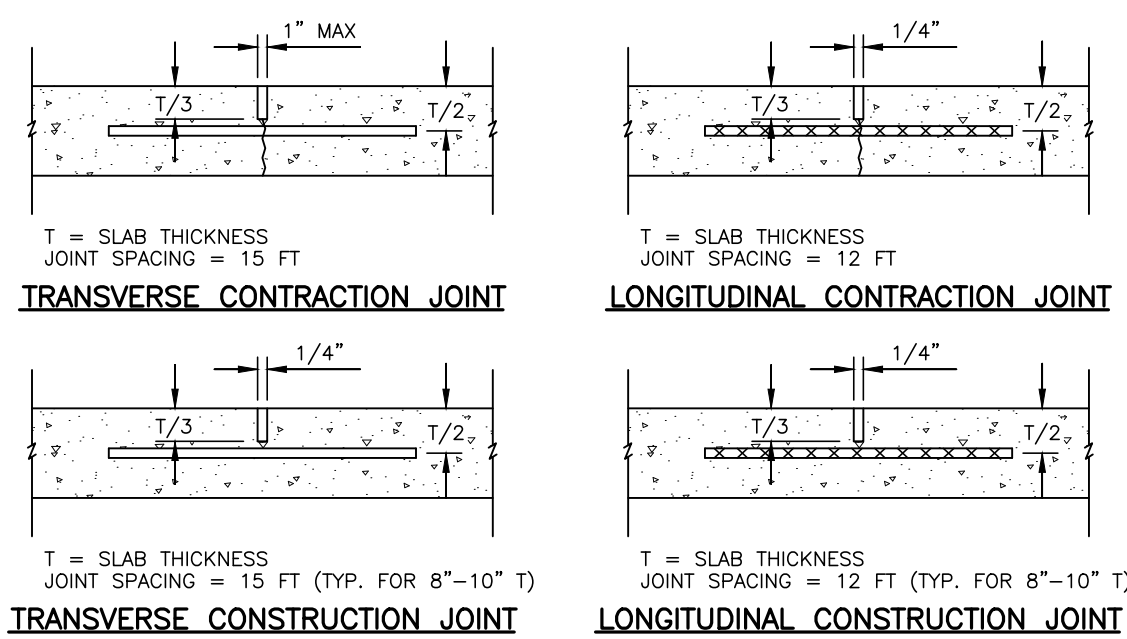
FINAL DRAWING - RELEASED FOR CONSTRUCTION



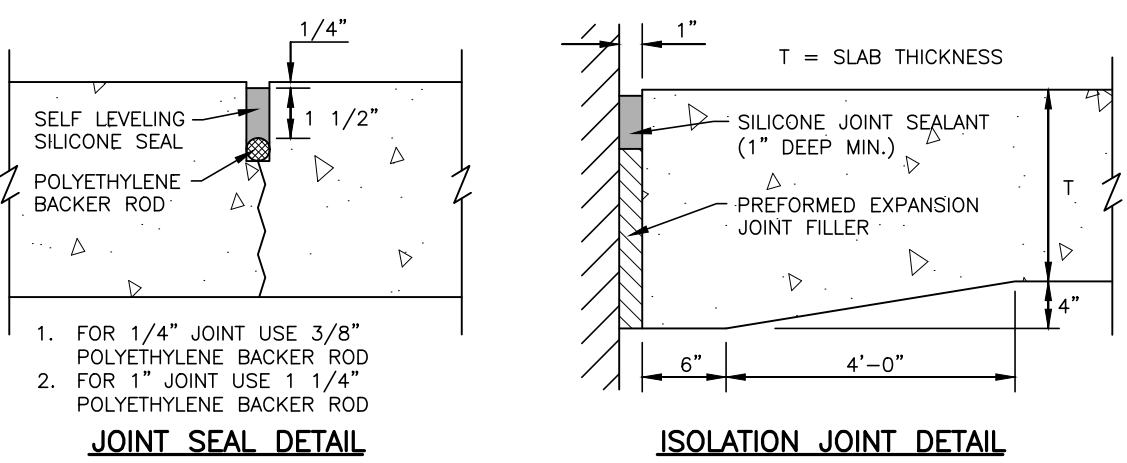
ASPHALT TO CONCRETE PAVEMENT TRANSITION
N.T.S.



TYPICAL ASPHALT KEY-IN DETAIL
N.T.S.

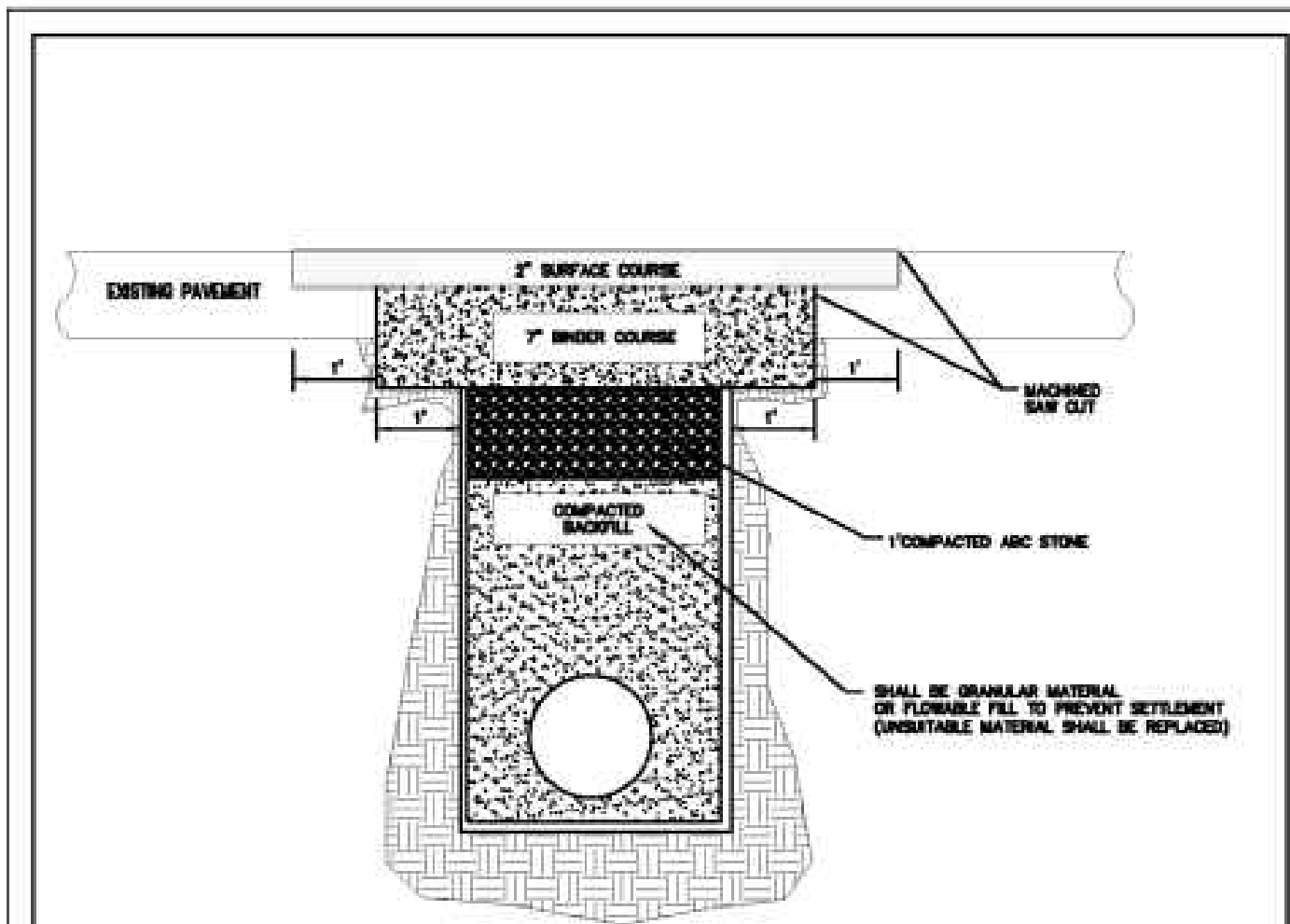


- NOTES:**
- LONGITUDINAL JOINTS ARE TIED (DEFORMED BARS)
 - TRANSVERSE JOINTS ARE DOWELED (SMOOTH BARS)
 - ISOLATION JOINTS (EXPANSION) AT OBSTACLES WITHIN PAVEMENT.
 - DOWELS FOR T = 8"-10" USE 1.25" DOWEL
 - DOWELS FOR T > 10" USE 1.50" DOWEL
 - DOWELS SHALL BE EPOXY COATED 18" LONG, SPACED 12" O.C.
 - TIE BARS SHALL BE #5 REINFORCING BARS 30" LONG, SPACED 30" O.C. IN ACCORDANCE WITH AASHTO M31



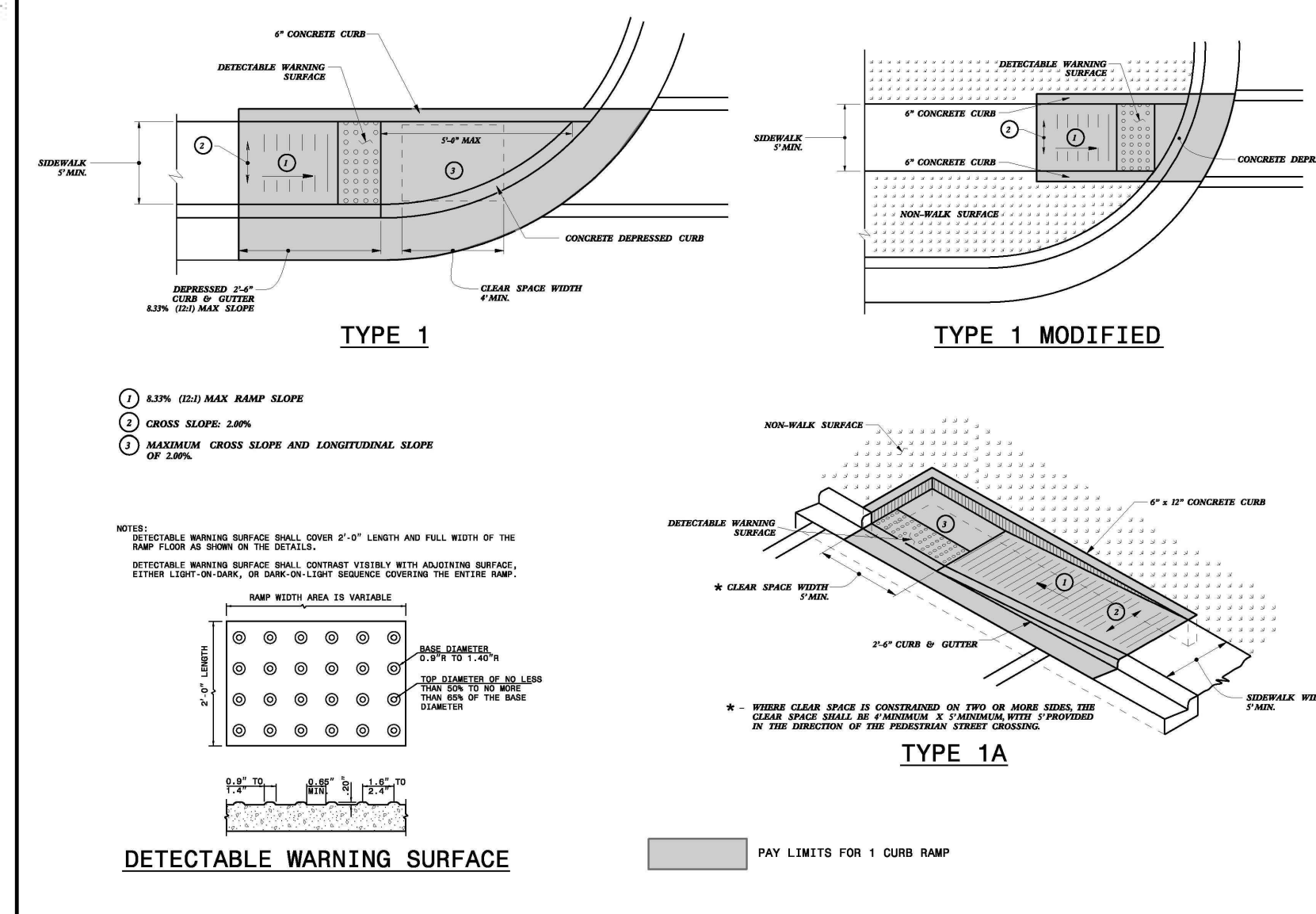
CONCRETE PAVEMENT JOINT DETAILS
N.T.S.

C.6. Trench/Pavement Repair Detail



- NOTES:**
- EXCAVATE TRENCH, LAY PIPE, BED, AND BACKFILL UTILITIES IN CONFORMANCE WITH THE APPLICABLE REQUIREMENTS OF DIVISION 2, DIVISION 15 AND ARTICLES 502-1, 502-4 AND 502-5 OF THE CURRENT MOST STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES EXCEPT AS OTHERWISE PROVIDED WITHIN THE TOWN OF MORRISVILLE DESIGN AND CONSTRUCTION ORDINANCE AND FOR THE DETAIL. CONSTRUCT ASPHALT PAVEMENT IN CONFORMANCE WITH THE APPLICABLE REQUIREMENTS OF DIVISION 4 OF THE CURRENT MOST STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE STRUCTURES EXCEPT AS OTHERWISE PROVIDED WITHIN THE TOWN OF MORRISVILLE DESIGN AND CONSTRUCTION ORDINANCE AND FOR THIS DETAIL.
 - THE PAVEMENT SHALL BE DETINED BY A STRAIGHT EDGE, PREFERABLY A MACHINED SAW CUT.
 - ALL TRENCHES MUST BE BACKFILLED WITH SUITABLE BACKFILL MATERIAL, PLACED IN 8-INCH LIFTS OR LESS OF UNCOMPACTED SOIL, AND COMPACTED WITH A MECHANICAL TAMP TO 95% MAXIMUM DRY AS MOISTURE BY WEIGHT METHOD T99, BEFORE PLACING ADDITIONAL LAYERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING COMPACTOR REQUIREMENTS BY SOILS TESTING CERTIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER.
 - BACKFILL WITH A HIGH CLAY CONTENT, HIGH SHRINK-SWELL POTENTIAL OR HIGH MOISTURE CONTENT THAT CANNOT MEET COMPACTOR REQUIREMENTS SHALL BE DEEMED UNSUITABLE AND SHALL BE REPLACED WITH SUITABLE BACKFILL MATERIAL.
 - THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH METHOD T-99 AS MOISTURE BY WEIGHT.
 - THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TAMPED.
 - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINTEGRATED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN AS SHOWN ON THIS DETAIL.
 - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY TO ACHIEVE A SMOOTH LEVEL PATCH.

Town of Morrisville Engineering Department			
REVISIONS	DATE	BY	DRWN BY
			Trench/Pavement Repair Detail
			Std. No. MV-5



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP
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SHEET 6 OF 13
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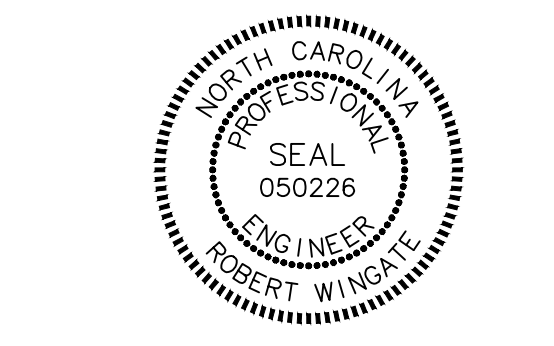
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LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
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5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003D1
CHECKED BY RTW
DRAWN BY MJD
SCALE NTS
DATE 07.23.2024

SHEET

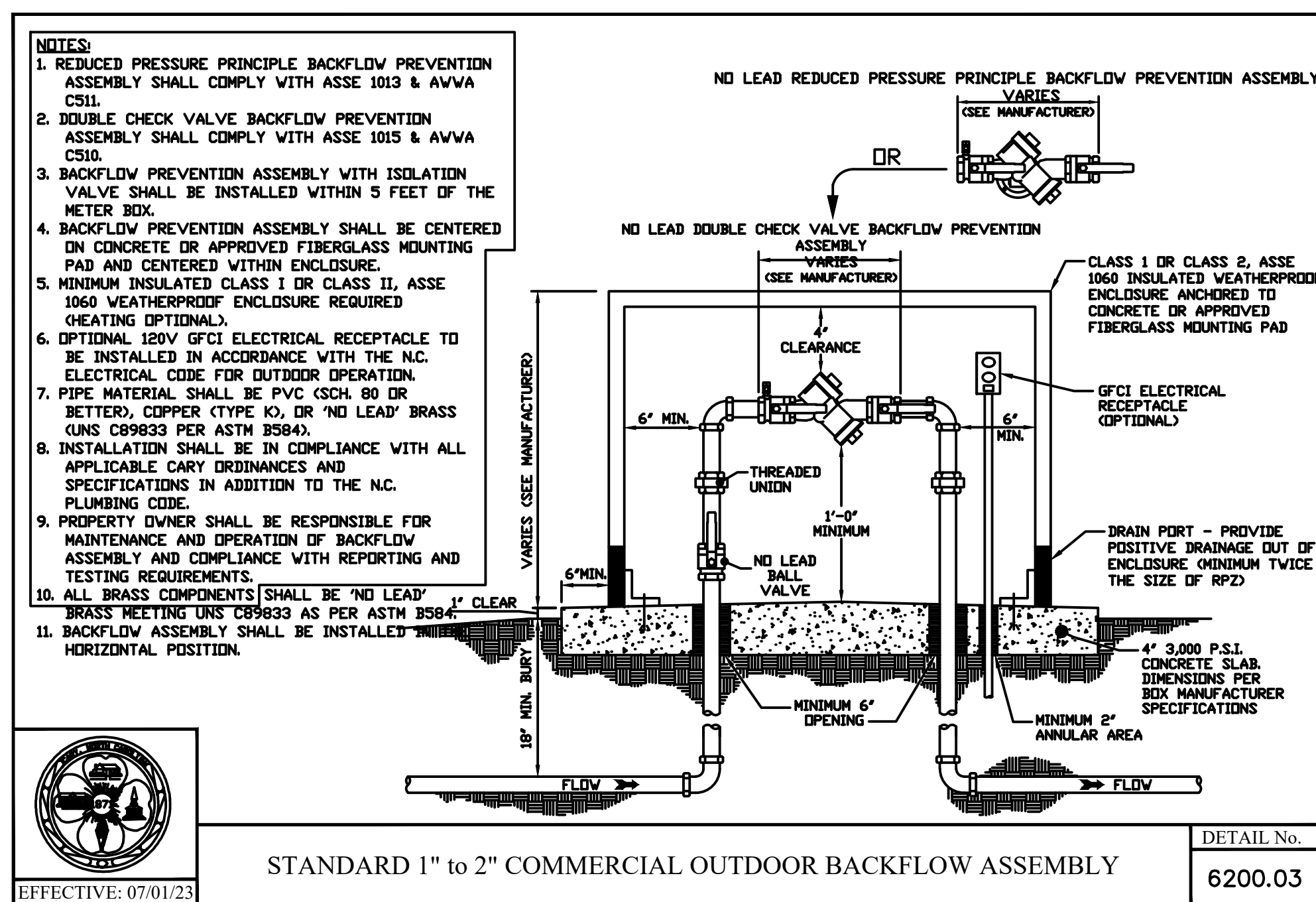
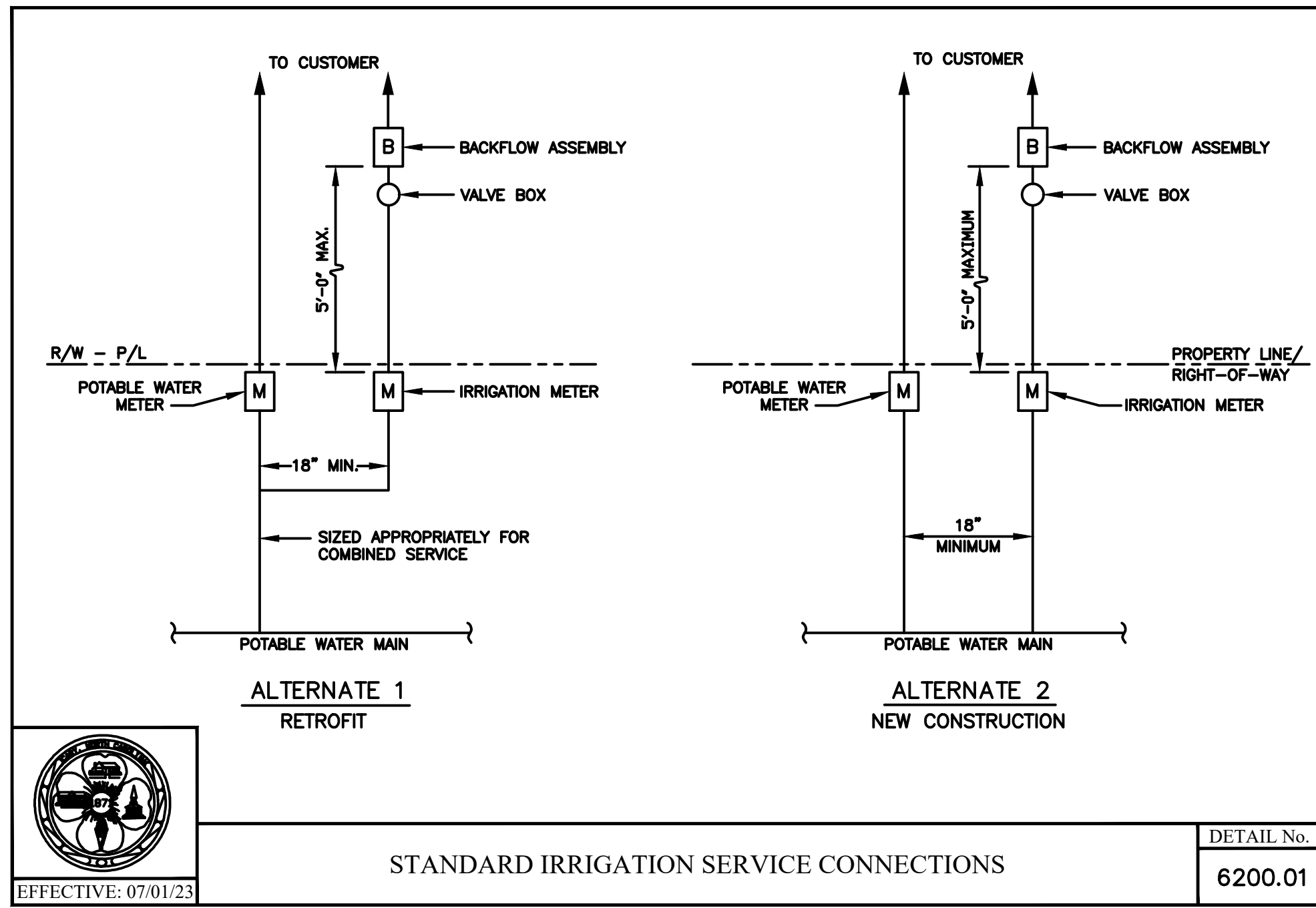
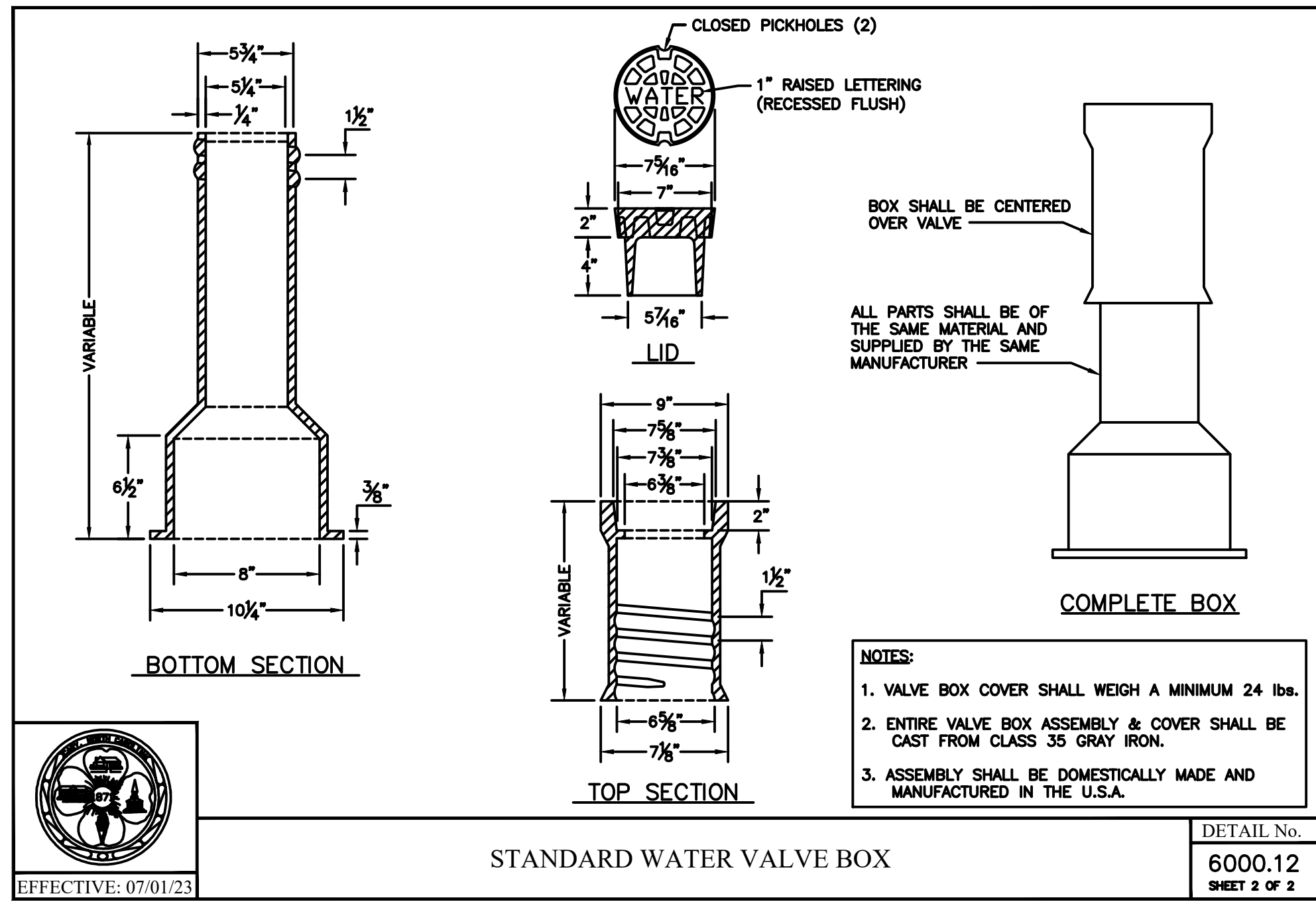
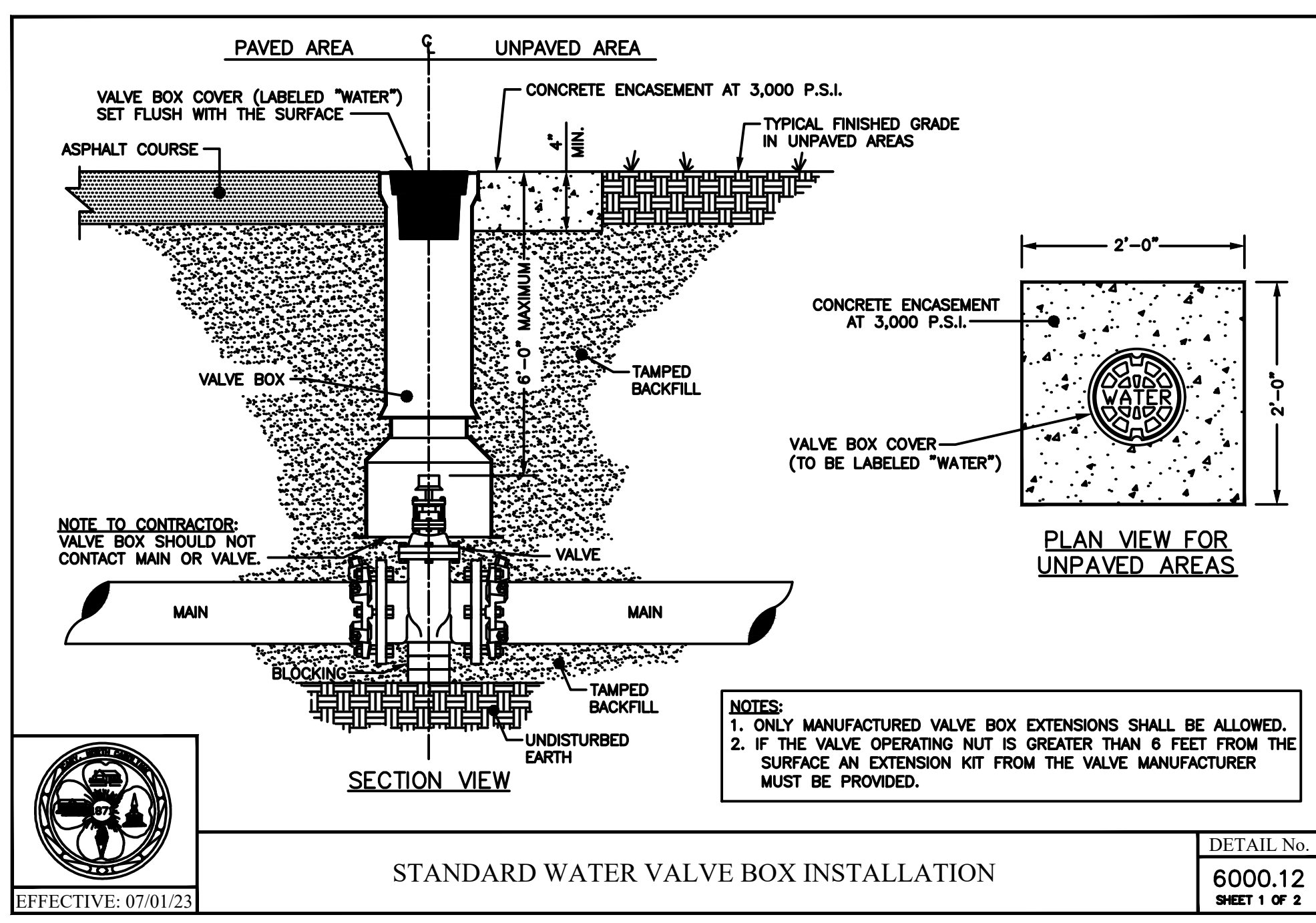
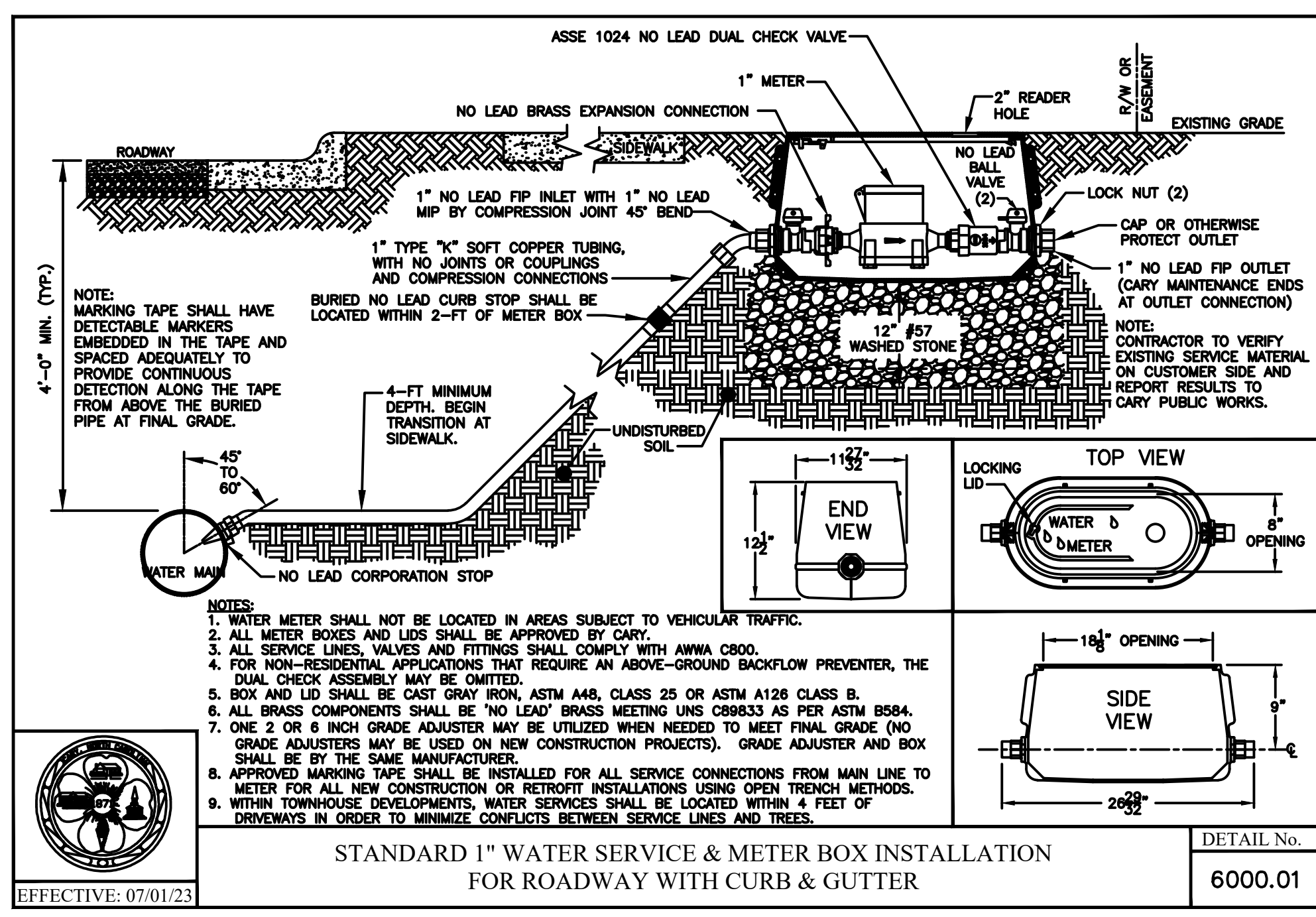
SITE DETAILS

C8.01

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

M:\Projects\LAB23003\04-Production\Engineering\Construction Drawings\Current Drawings\LAB23003D1.dwg, 7/23/2024 5:44:38 PM, Mikalaha Blackwood



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WATTS ZURN
Reduced-Pressure Zone (RPZ) Backflow Preventers

- Max. pressure: 175 psi
- NPT connections, except Nos. 50M30 to 50M44 have IPS, Nos. 15W053 to 15W055 have flanged end
- Find information on kit contents at Grainger.com®
- Help prevent the reverse flow of polluted water into the potable water supply due to back-siphonage and backpressure.

Watts 009 Series—No. 6A771 is the M1 version of the 009 Series. Nos. 429J28 to 429J30 meet ASSE, CSA, and are 3-1/2. Classified, Nos. 50M30 to 50M44 meet ASSE, AWWA, CSA, APMO Foundation for Cross-Connection Control and Hydraulic Research at USC, Nos. 6A770 and 6A771 meet ASSE 1013, AWWA C-511-92, CSA B64.4, and APMO. Nos. 26X125 to 26X140 meet ASSE, CSA, UPC, and USC.

Zurn Wilkins 375XL Series—Models have a pressure differential relief valve located between 2 independently operated spring-loaded centers. Meet ASSE 1013, APMO, CSA, and USC. NSF-61 Listed.

Watts 009 Series—2 1/2" to 4" models have flanged end connections. Meet ASSE 1013, AWWA C-511-92, CSA B64.4, except No. 26X122 also meets UPC and USC.

Zurn Wilkins 975XL Series—Top entry allows easy access to internal components. Meet ASSE 1013, CSA Certified, APMO Listed, and NSF-61 Listed Annex G.

Zurn Wilkins 975XL Series—Provide protection where a potential health hazard exists. Meet ASSE 1013, APMO, CSA, FM, and USC.

Air Gaps—Provide an unobstructed separation between potable water supply discharge and receiving vessel opening.

Repair Kits—Include disc assemblies, O-rings, and diaphragms.

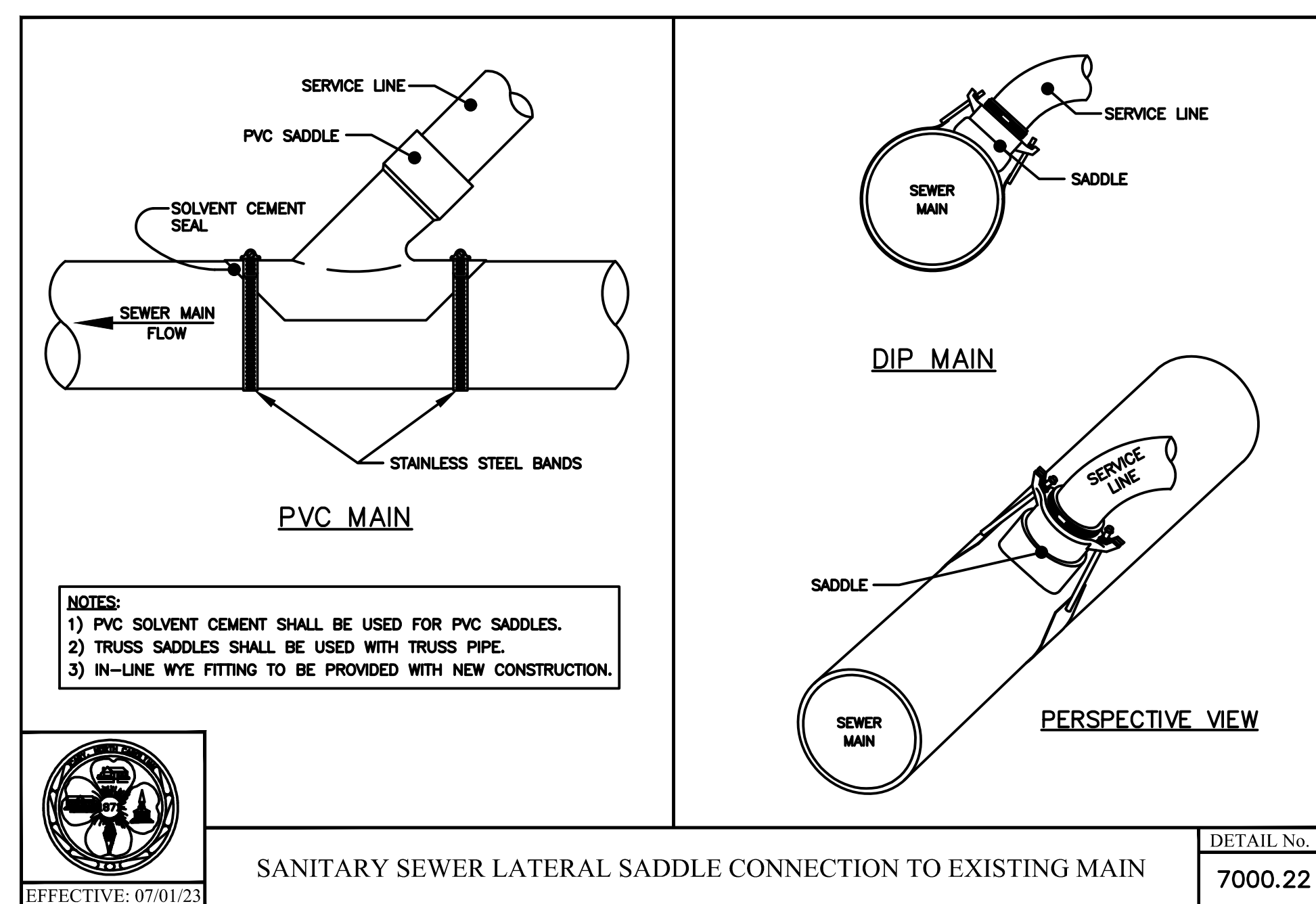
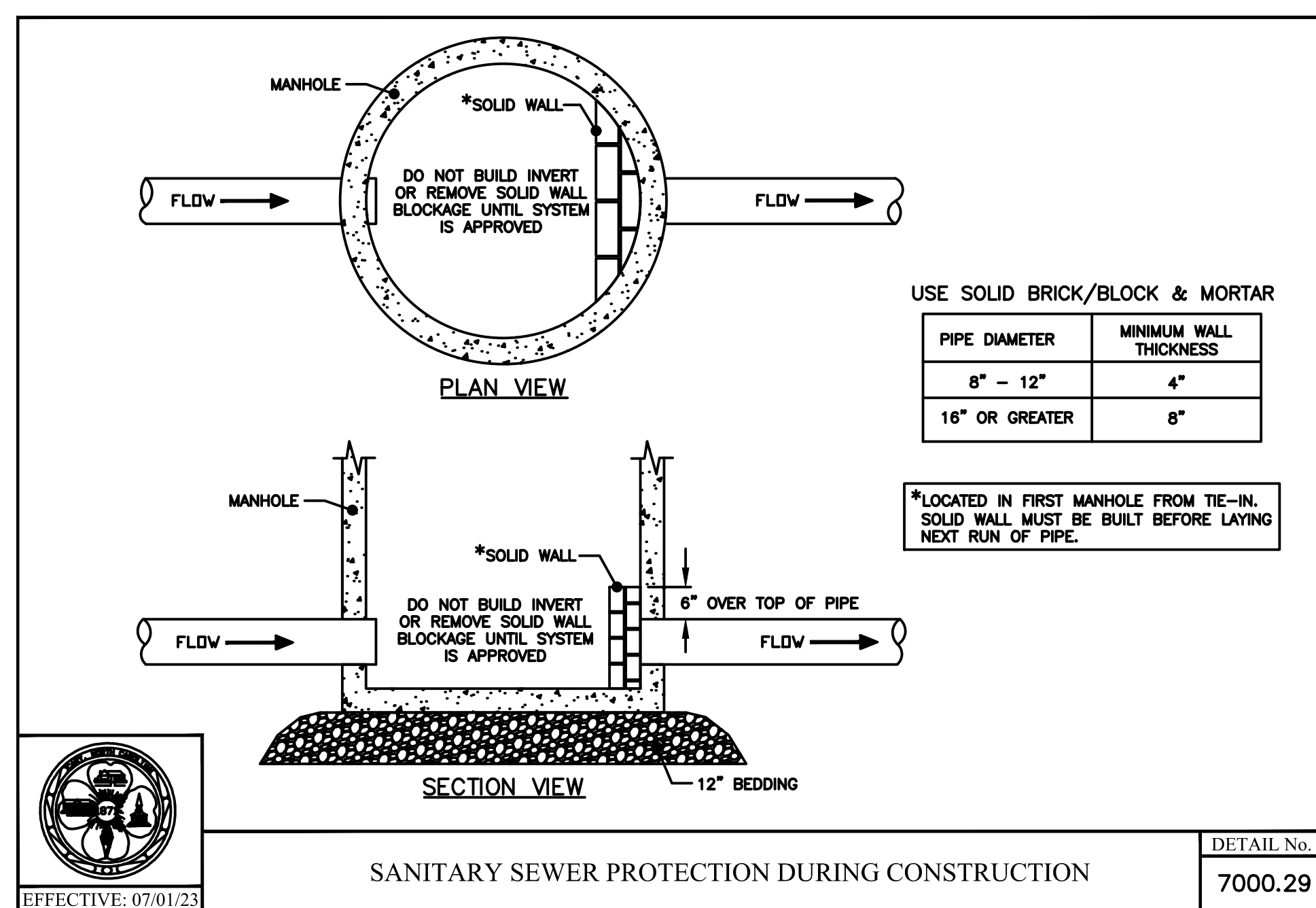
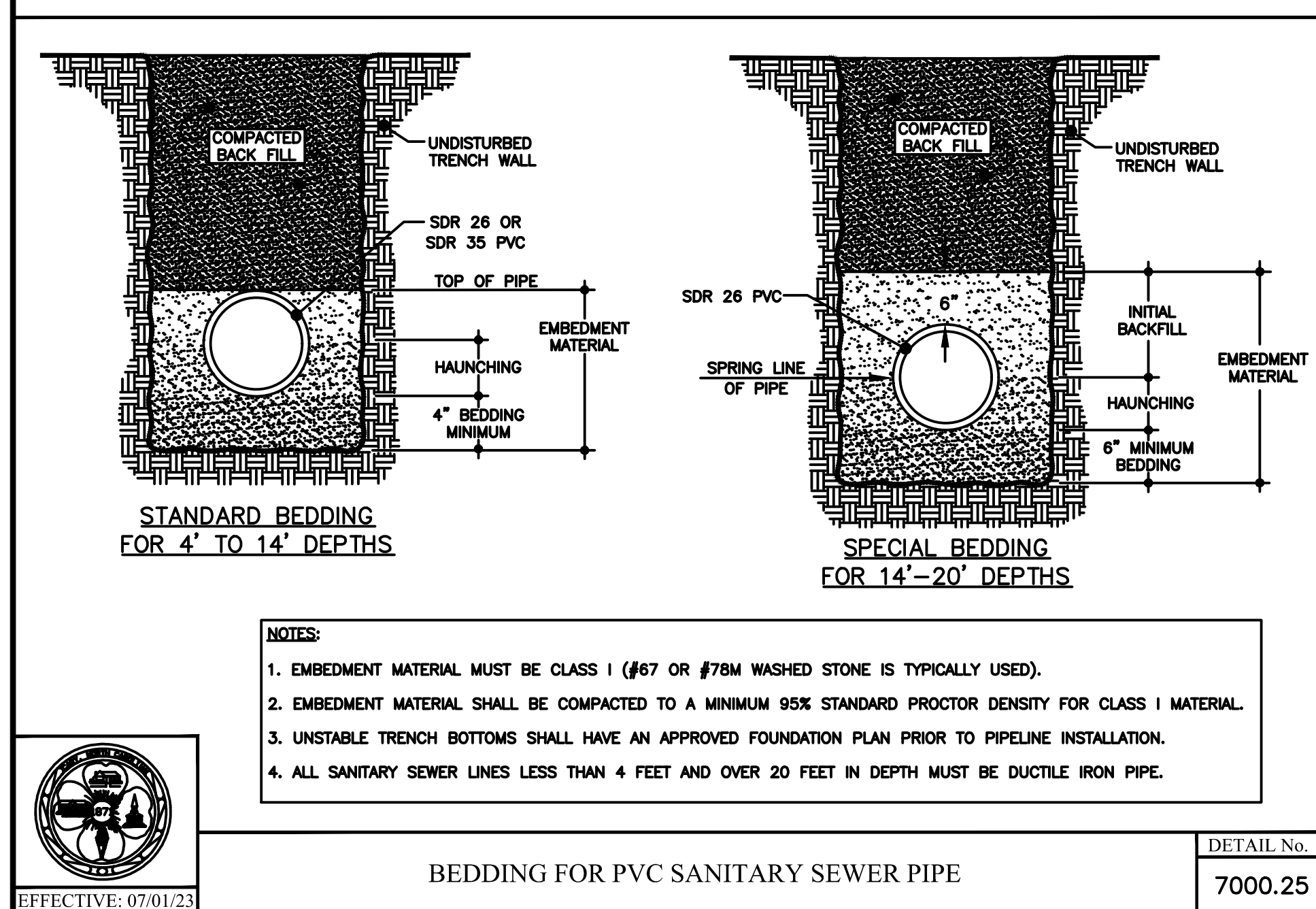
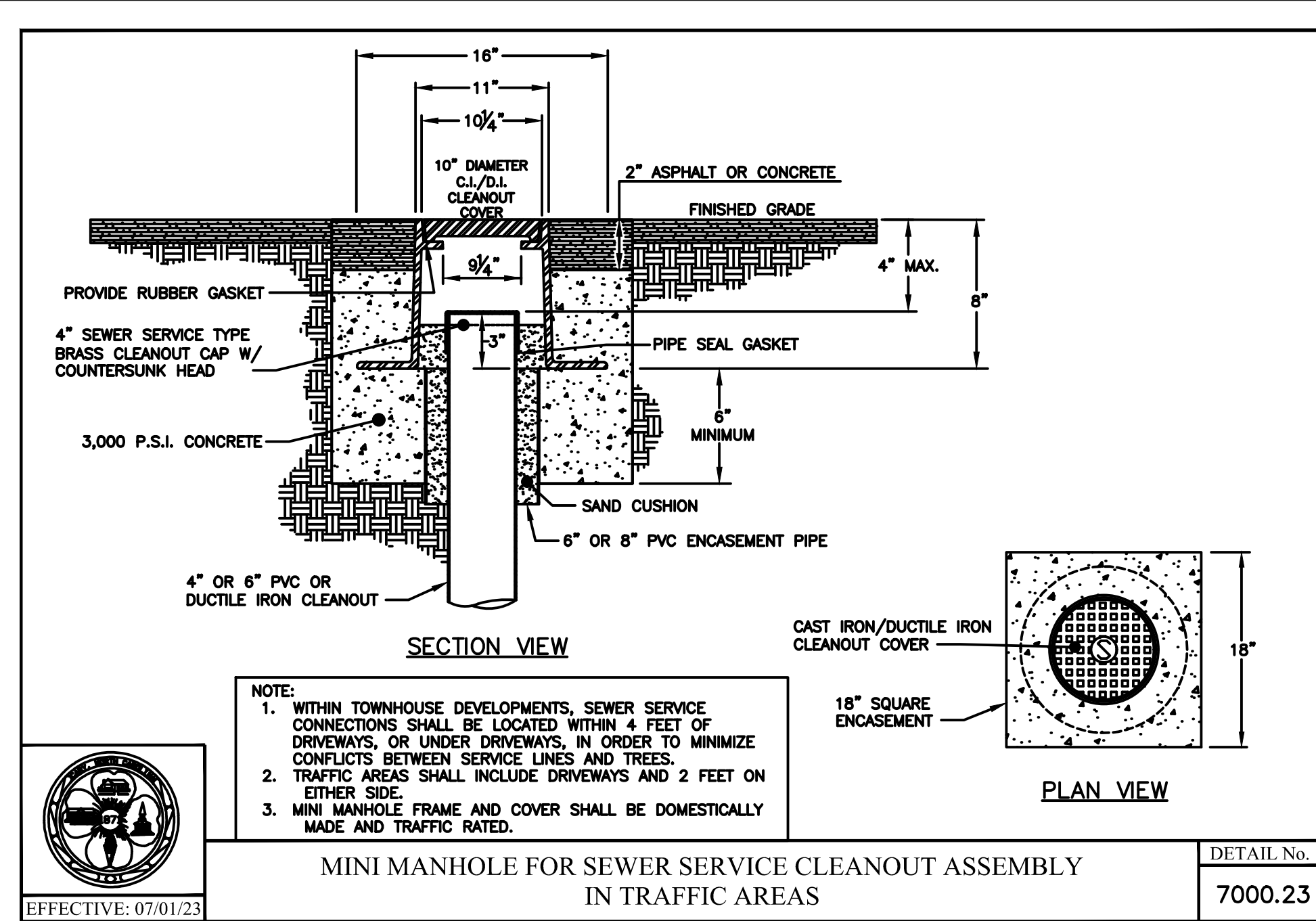
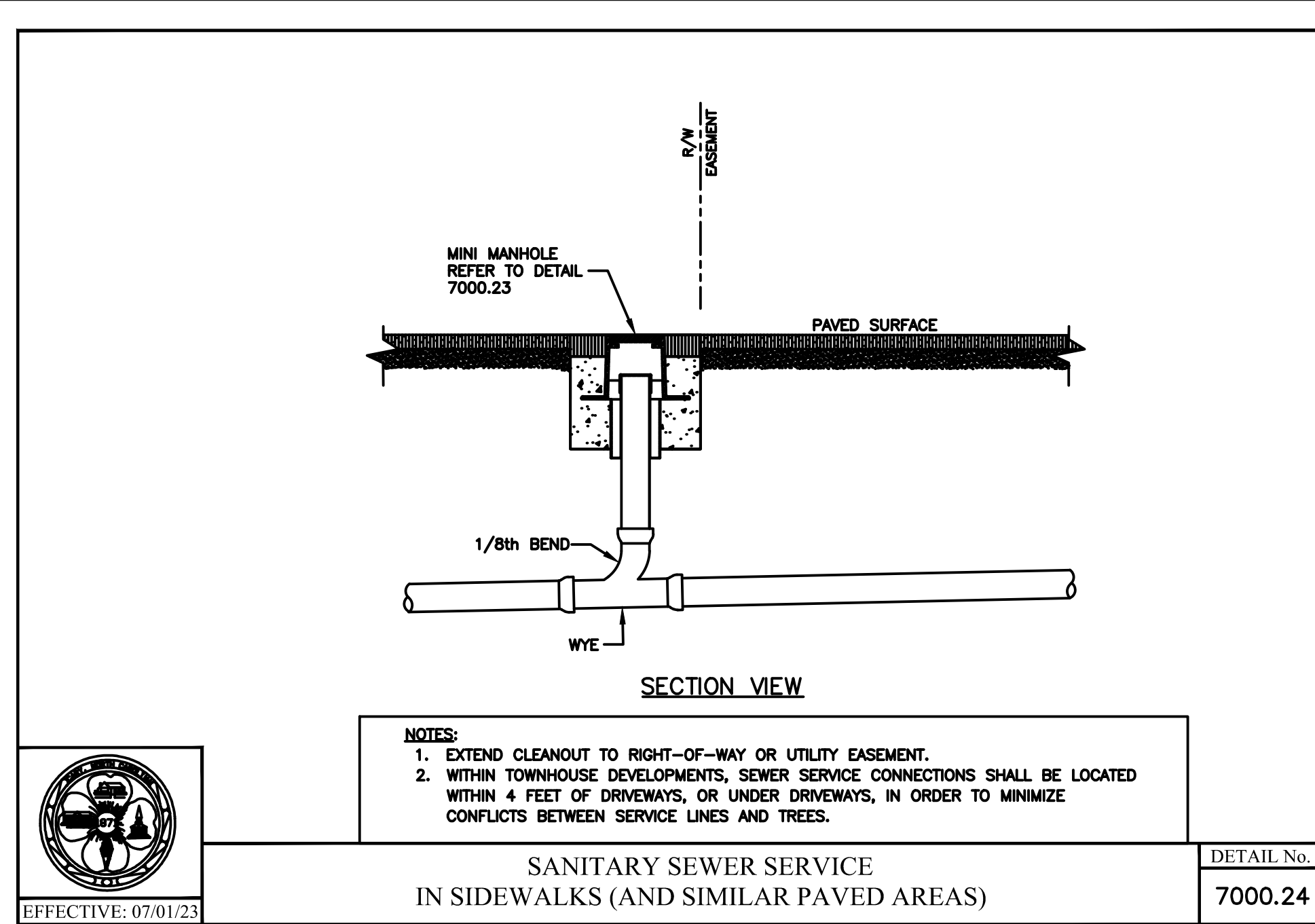
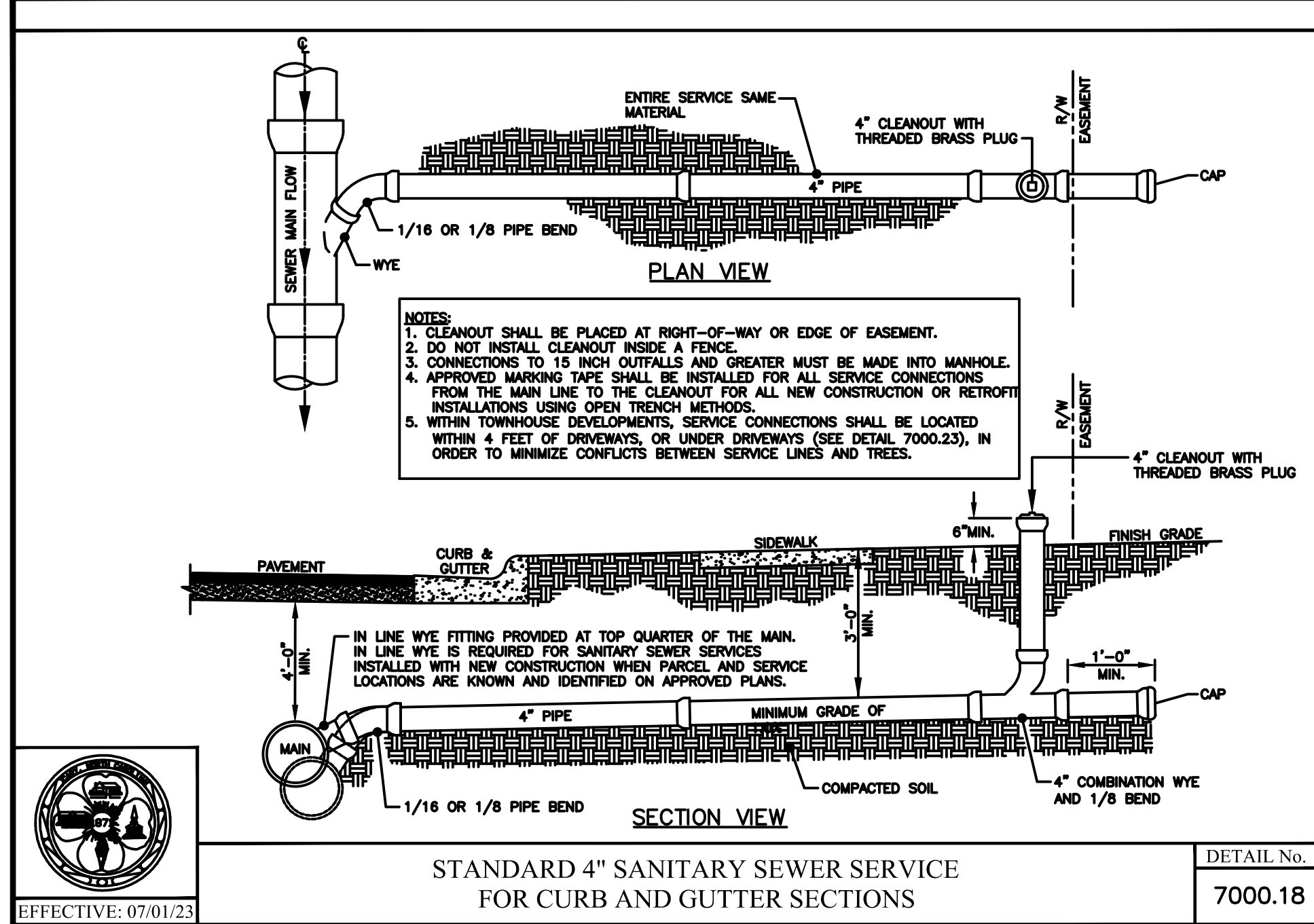
Test Cocks—Use to facilitate backflow assembly testing or as isolation valves for gauges or small equipment lines.

Watts Repair Kits for 009 Series

Size	Body Material	W	L	Max. Temp.	Item No.
1/2"	Alloy	7"	11 1/2"	180°F	429J28
3/4"	Alloy	7"	11 1/2"	180°F	429J29
1"	Alloy	7"	11 1/2"	180°F	429J30
1 1/2"	Alloy	7"	11 1/2"	180°F	429J31
2"	Alloy	7"	11 1/2"	180°F	429J32
2 1/2"	Alloy	7"	11 1/2"	180°F	429J33
3"	Alloy	7"	11 1/2"	180°F	429J34
3 1/2"	Alloy	7"	11 1/2"	180°F	429J35
4"	Alloy	7"	11 1/2"	180°F	429J36
4 1/2"	Alloy	7"	11 1/2"	180°F	429J37
5"	Alloy	7"	11 1/2"	180°F	429J38
5 1/2"	Alloy	7"	11 1/2"	180°F	429J39
6"	Alloy	7"	11 1/2"	180°F	429J40
6 1/2"	Alloy	7"	11 1/2"	180°F	429J41
7"	Alloy	7"	11 1/2"	180°F	429J42
7 1/2"	Alloy	7"	11 1/2"	180°F	429J43
8"	Alloy	7"	11 1/2"	180°F	429J44
8 1/2"	Alloy	7"	11 1/2"	180°F	429J45
9"	Alloy	7"	11 1/2"	180°F	429J46
9 1/2"	Alloy	7"	11 1/2"	180°F	429J47
10"	Alloy	7"	11 1/2"	180°F	429J48
10 1/2"	Alloy	7"	11 1/2"	180°F	429J49
11"	Alloy	7"	11 1/2"	180°F	429J50
11 1/2"	Alloy	7"	11 1/2"	180°F	429J51
12"	Alloy	7"	11 1/2"	180°F	429J52
12 1/2"	Alloy	7"	11 1/2"	180°F	429J53
13"	Alloy	7"	11 1/2"	180°F	429J54
13 1/2"	Alloy	7"	11 1/2"	180°F	429J55
14"	Alloy	7"	11 1/2"	180°F	429J56
14 1/2"	Alloy	7"	11 1/2"	180°F	429J57
15"	Alloy	7"	11 1/2"	180°F	429J58
15 1/2"	Alloy	7"	11 1/2"	180°F	429J59
16"	Alloy	7"	11 1/2"	180°F	429J60
16 1/2"	Alloy	7"	11 1/2"	180°F	429J61
17"	Alloy	7"	11 1/2"	180°F	429J62
17 1/2"	Alloy	7"	11 1/2"	180°F	429J63
18"	Alloy	7"	11 1/2"	180°F	429J64
18 1/2"	Alloy	7"	11 1/2"	180°F	429J65
19"	Alloy	7"	11 1/2"	180°F	429J66
19 1/2"	Alloy	7"	11 1/2"	180°F	429J67
20"	Alloy	7"	11 1/2"	180°F	429J68
20 1/2"	Alloy	7"	11 1/2"	180°F	429J69
21"	Alloy	7"	11 1/2"	180°F	429J70
21 1/2"	Alloy	7"	11 1/2"	180°F	429J71
22"	Alloy	7"	11 1/2"	180°F	429J72
22 1/2"	Alloy	7"	11 1/2"	180°F	429J73
23"	Alloy	7"	11 1/2"	180°F	429J74
23 1/2"	Alloy	7"	11 1/2"	180°F	429J75
24"	Alloy	7"	11 1/2"	180°F	429J76
24 1/2"	Alloy	7"	11 1/2"	180°F	429J77
25"	Alloy	7"	11 1/2"	180°F	429J78
25 1/2"	Alloy	7"	11 1/2"	180°F	429J79
26"	Alloy	7"	11 1/2"	180°F	429J80
26 1/2"	Alloy	7"	11 1/2"	180°F	429J81
27"	Alloy	7"	11 1/2"	180°F	429J82
27 1/2"	Alloy	7"	11 1/2"	180°F	429J83
28"	Alloy	7"	11 1/2"	180°F	429J84
28 1/2"	Alloy	7"	11 1/2"	180°F	429J85
29"	Alloy	7"	11 1/2"	180°F	429J86
29 1/2"	Alloy	7"	11 1/2"	180°F	429J87
30"	Alloy	7"	11 1/2"	180°F	429J88
30 1/2"	Alloy	7"	11 1/2"	180°F	429J89
31"	Alloy	7"	11 1/2"	180°F	429J90
31 1/2"	Alloy	7"	11 1/2"	180°F	429J91
32"	Alloy	7"	11 1/2"	180°F	429J92
32 1/2"	Alloy	7"	11 1/2"	180°F	429J93
33"	Alloy	7"	11 1/2"	180°F	429J94
33 1/2"	Alloy	7"	11 1/2"	180°F	429J95
34"	Alloy	7"	11 1/2"	180°F	429J96
34 1/2"	Alloy	7"	11 1/2"	180°F	429J97
35"	Alloy	7"	11 1/2"	180°F	429J98
35 1/2"	Alloy	7"	11 1/2"	180°F	429J99
36"	Alloy	7"	11 1/2"	180°F	429J00

Watts Repair Kits for 009 Series

Size	Body Material	W	L	Max. Temp.	Item No.
1/2"	Alloy	7"	11 1/2"	180°F	429K01
3/4"	Alloy	7"	11 1/2"	180°F	429K02
1"	Alloy	7"	11 1/2"	180°F	429K03
1 1/2"	Alloy	7"	11 1/2"	180°F	429K04
2"	Alloy	7"	11 1/2"	180°F	429K05
2 1/2"	Alloy	7"	11 1/2"	180°F	429K06
3"	Alloy	7"	11 1/2"	180°F	429K07
3 1/2"	Alloy	7"	11 1/2"	180°F	429K08
4"	Alloy	7"	11 1/2"	180°F	429K09
4 1/2"	Alloy	7"	11 1/2"	180°F	429K10
5"	Alloy	7"	11 1/2"	180°F	429K11
5 1/2"	Alloy	7"	11 1/2"	180°F	429K12
6"	Alloy	7"	11 1/2"	180°F	429K13
6 1/2"	Alloy	7"	11 1/2"	180°F	429K14
7"	Alloy	7"	11 1/2"	180°F	429K15
7 1/2"	Alloy	7"	11 1/2"	180°F	429K16
8"	Alloy	7"	11 1/2"	180°F	429K17
8 1/2"	Alloy	7"	11 1/2"	180°F	429K18
9"	Alloy	7"	11 1/2"	180°F	429K19
9 1/2"	Alloy	7"	11 1/2"	180°F	429K20
10"	Alloy	7"	11 1/2"	180°F	429K21
10 1/2"	Alloy	7"	11 1/2"	180°F	429K22
11"	Alloy	7"	11 1/2"	180°F	429K23
11 1/2"	Alloy	7"	11 1/2"	180°F	429K24
12"	Alloy	7"	11 1/2"	180°F	429K25
12 1/2"	Alloy	7"	11 1/2"	180°F	429K26
13"	Alloy	7"	11 1/2"	180°F	429K27
13 1/2"	Alloy	7"	11 1/2"	180°F	429K28
14"	Alloy	7"	11 1/2"	180°F	429K29
14 1/2"	Alloy	7"	11 1/2"	180°F	429K30
15"	Alloy	7"	11 1/2"	180°F	429K31
15 1/2"	Alloy	7"	11 1/2"	180°F	429K32
16"	Alloy	7"	11 1/2"	180°F	429K33
16 1/2"	Alloy	7"	11 1/2"	180°F	429K34
17"	Alloy	7"	11 1/2"	180°F	429K35
17 1/2"	Alloy	7"	11 1/2"	180°F	429K36
18"	Alloy	7"	11 1/2"	180°F	429K37
18 1/2"	Alloy	7"	11 1/2"	180°F	429K38
19"	Alloy	7"	11 1/2"	180°F	429K39
19 1/2"	Alloy	7"	11 1/2"	180°F	429K40
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21 1/2"	Alloy	7"	11 1/2"	180°F	429K44
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22 1/2"	Alloy	7"	11 1/2"	180°F	429K46
23"	Alloy	7"	11 1/2"	180°F	429K47
23 1/2"	Alloy	7"	11 1/2"	180°F	429K48
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30 1/2"	Alloy	7"	11 1/2"	180°F	429K62
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32 1/2"	Alloy	7"	11 1/2"	180°F	429K66
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33 1/2"	Alloy	7"	11 1/2"	180°F	429K68
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36 1/2"	Alloy	7"	11 1/2"	180°F	429K74
37"	Alloy	7"	11 1/2"	180°F	429K75
37 1/2"	Alloy	7"	11 1/2"	180°F	429K76
38"	Alloy	7"	11 1/2"	180°F	429K77
38 1/2"	Alloy	7"	11 1/2"	180°F	429K78
39"	Alloy	7"	11 1/2"	180°F	429K79
39 1/2"	Alloy	7"	11 1/2"	180°F	429K80
40"	Alloy	7"	11 1/2"	180°F	429K81
40 1/2"	Alloy	7"	11 1/2"	180°F	429K82
41"	Alloy	7"	11 1/2"	180°F	429K83
41 1/2"	Alloy	7"	11 1/2"	180°F	429K84
42"	Alloy	7"	11 1/2"	180°F	429K85
42 1/2"	Alloy	7"	11 1/2"	180°F	429K86
43"	Alloy	7"	11 1/2"	180°F	429K87
43 1/2"	Alloy	7"	11 1/2"	180°F	429K88
44"	Alloy	7"	11 1/2"	180°F	429K89
44 1/2"	Alloy	7"	11 1/2"	180°F	429K90
4					



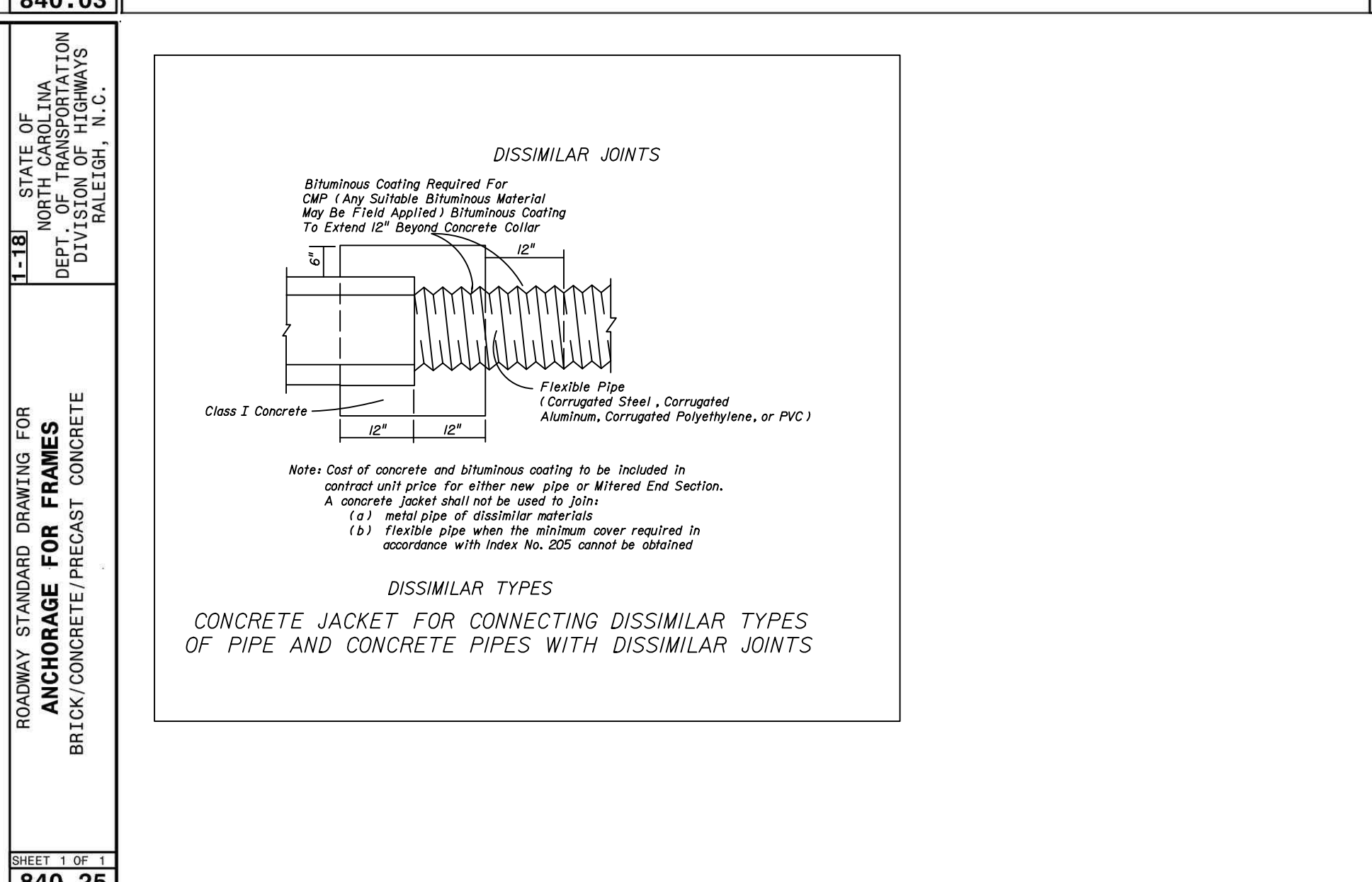
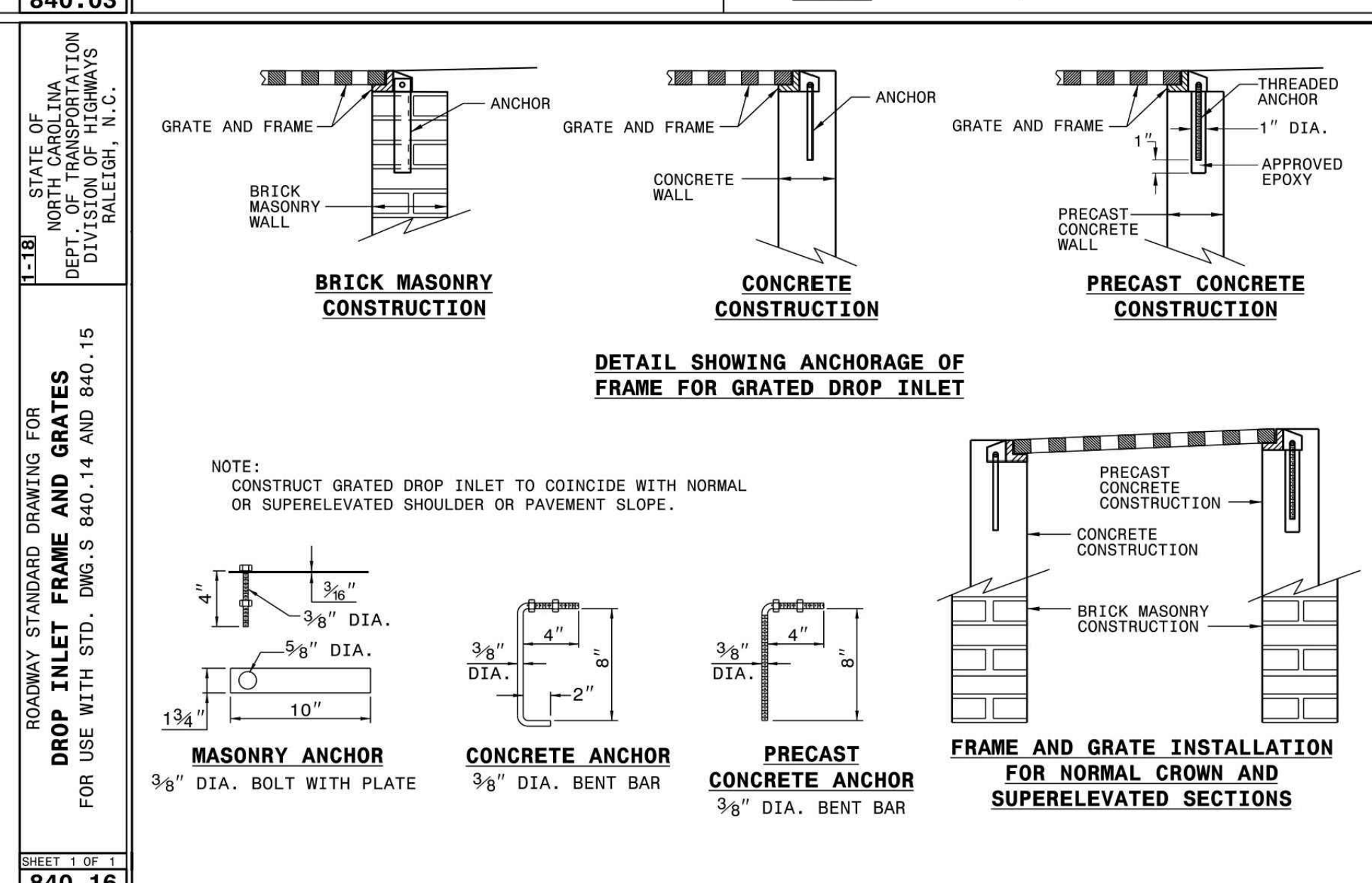
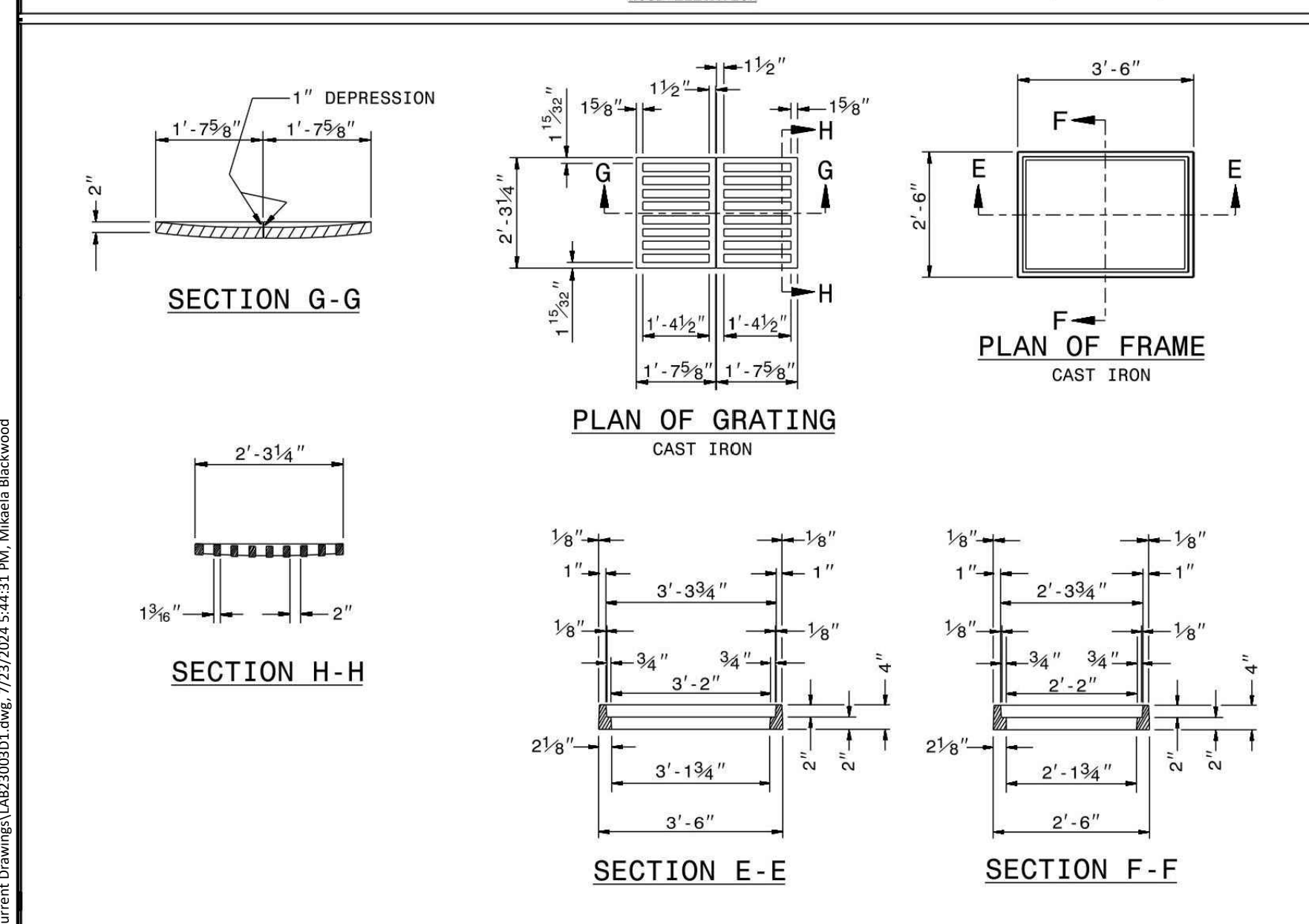
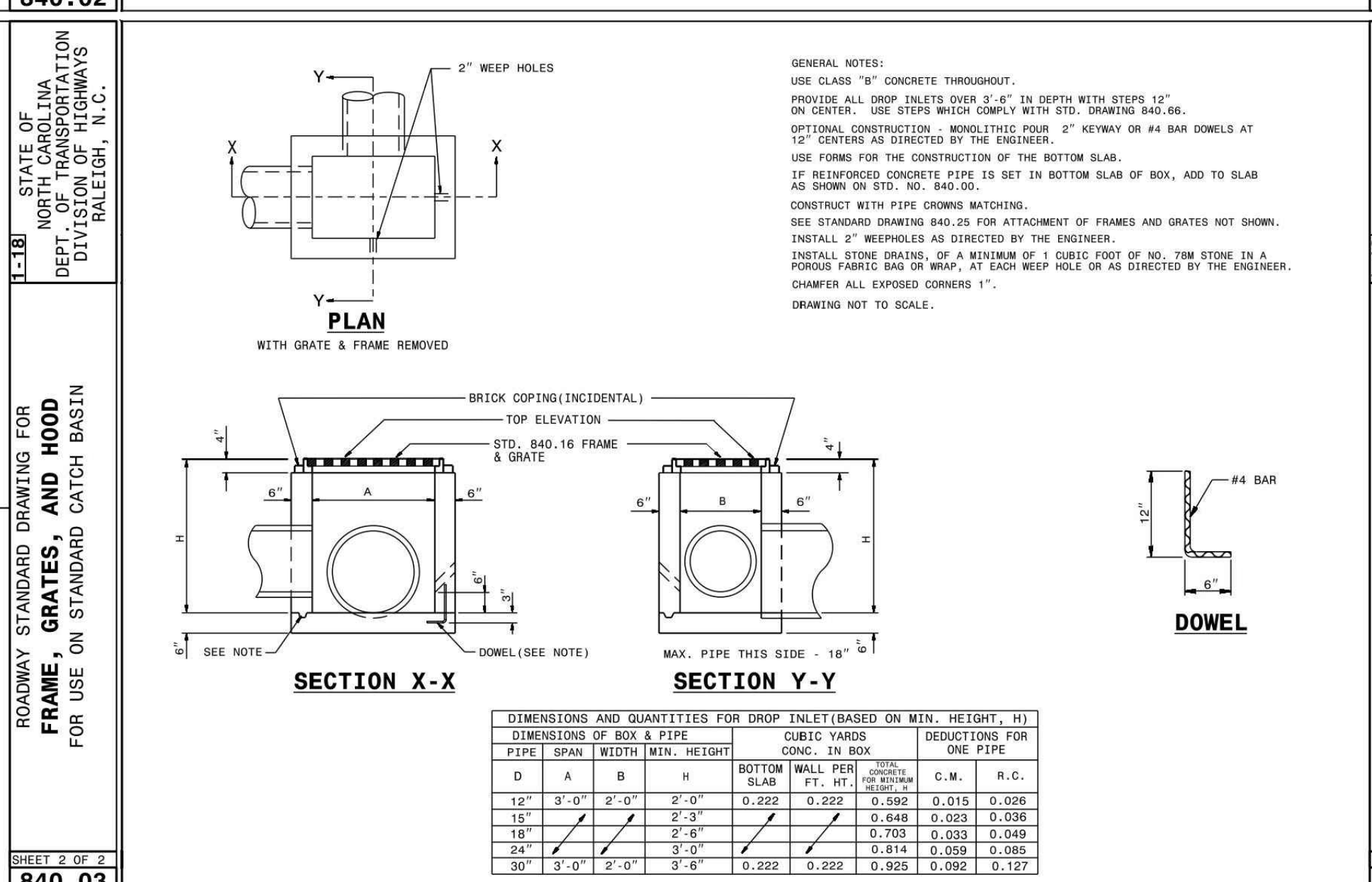
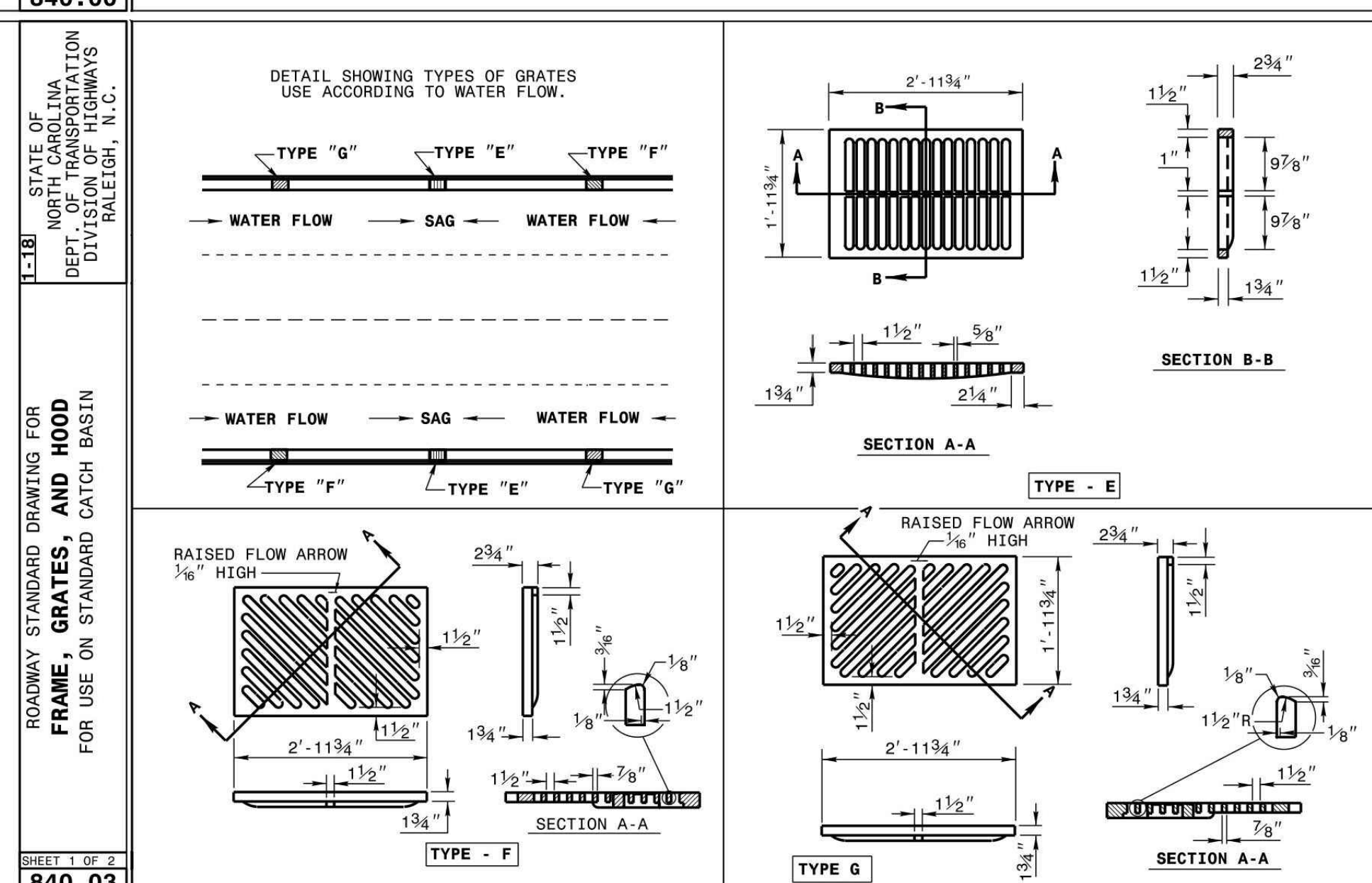
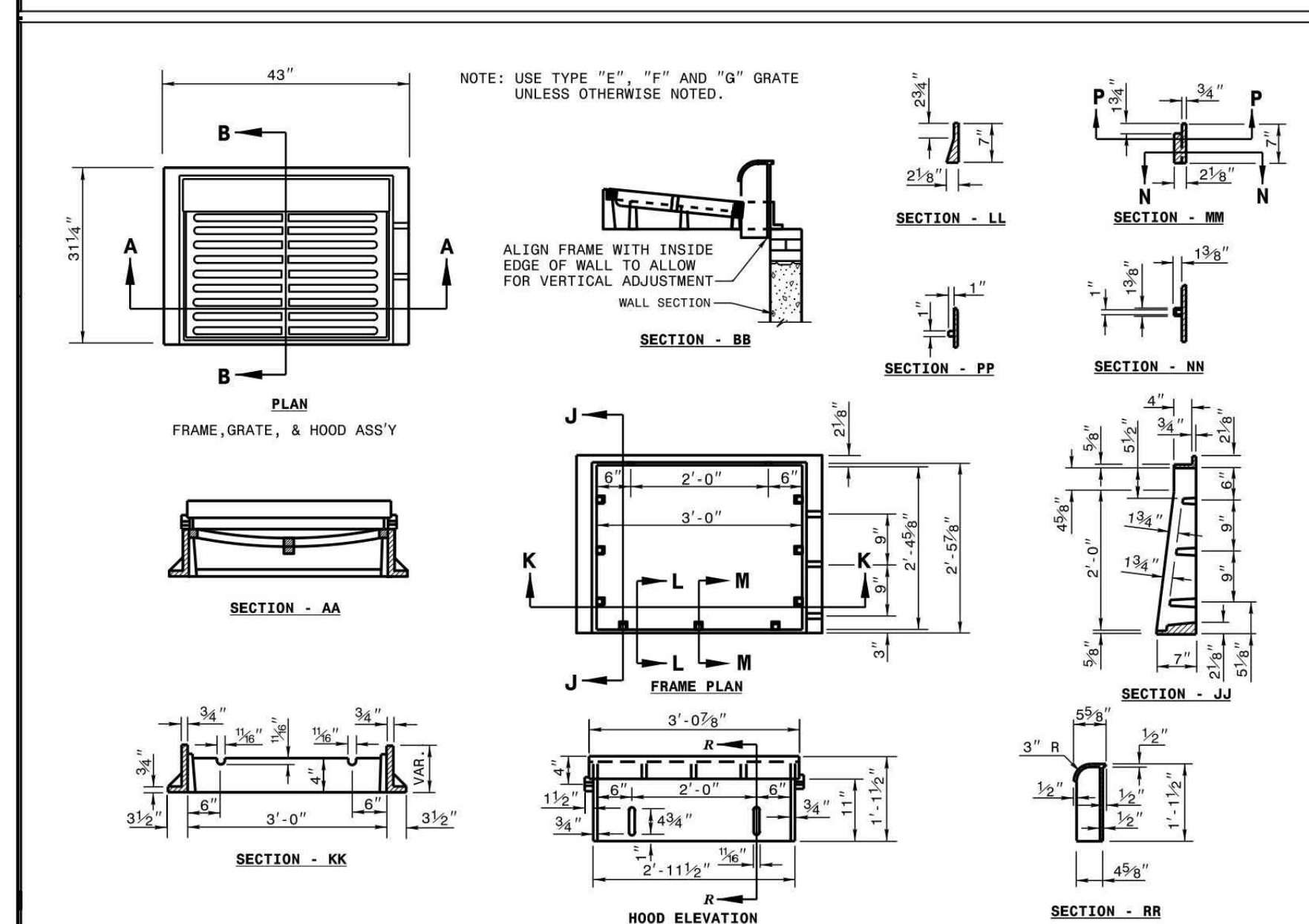
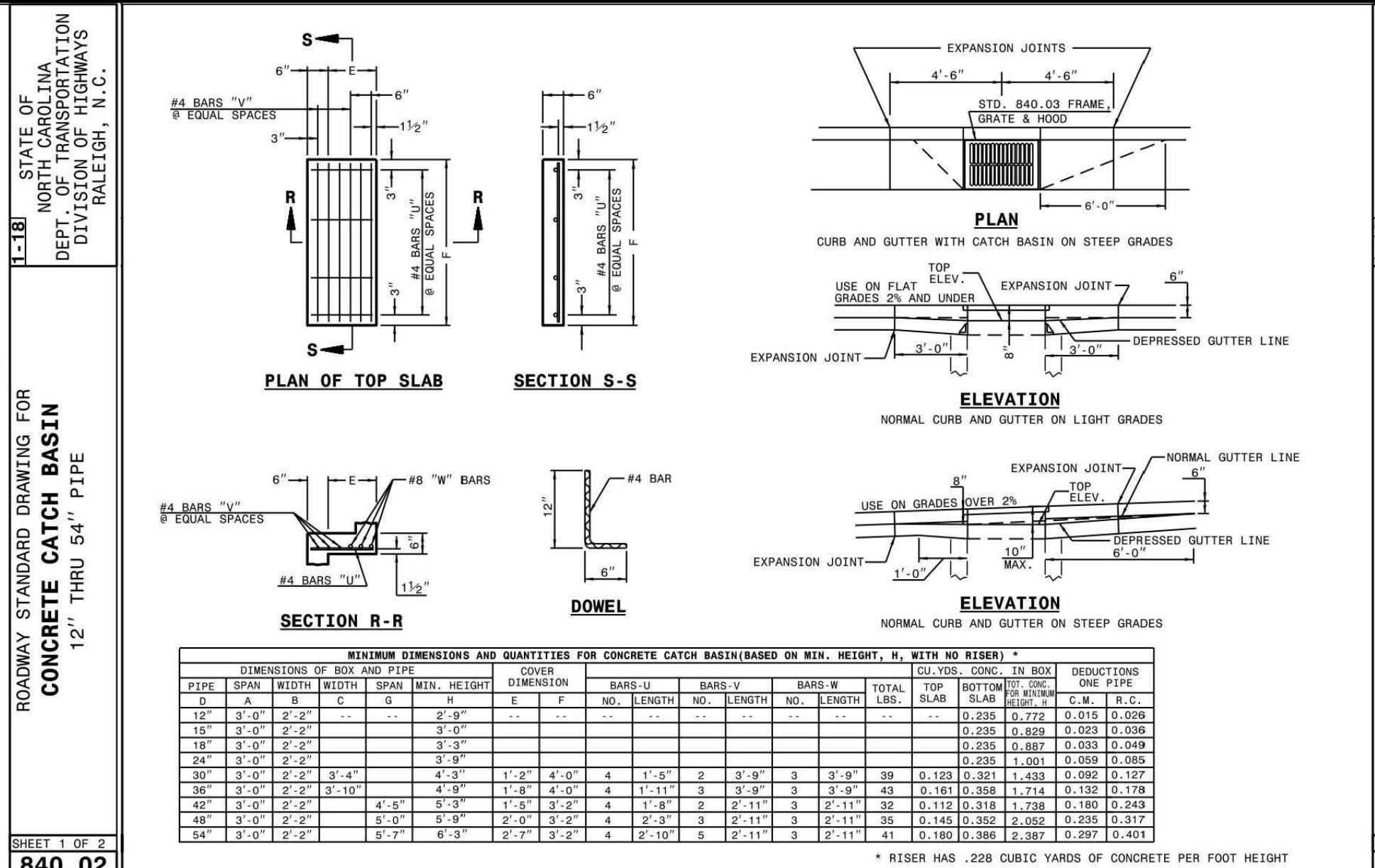
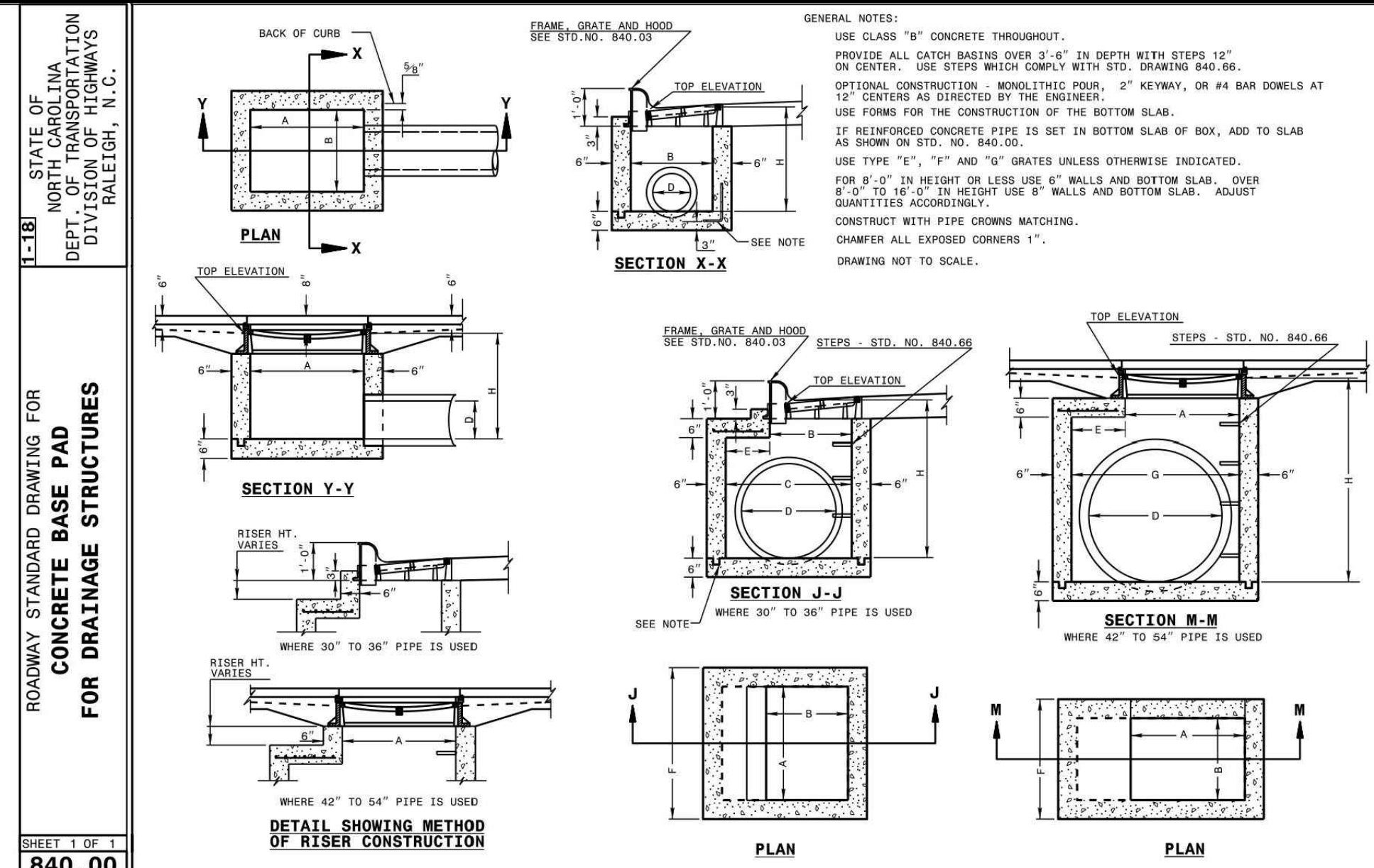
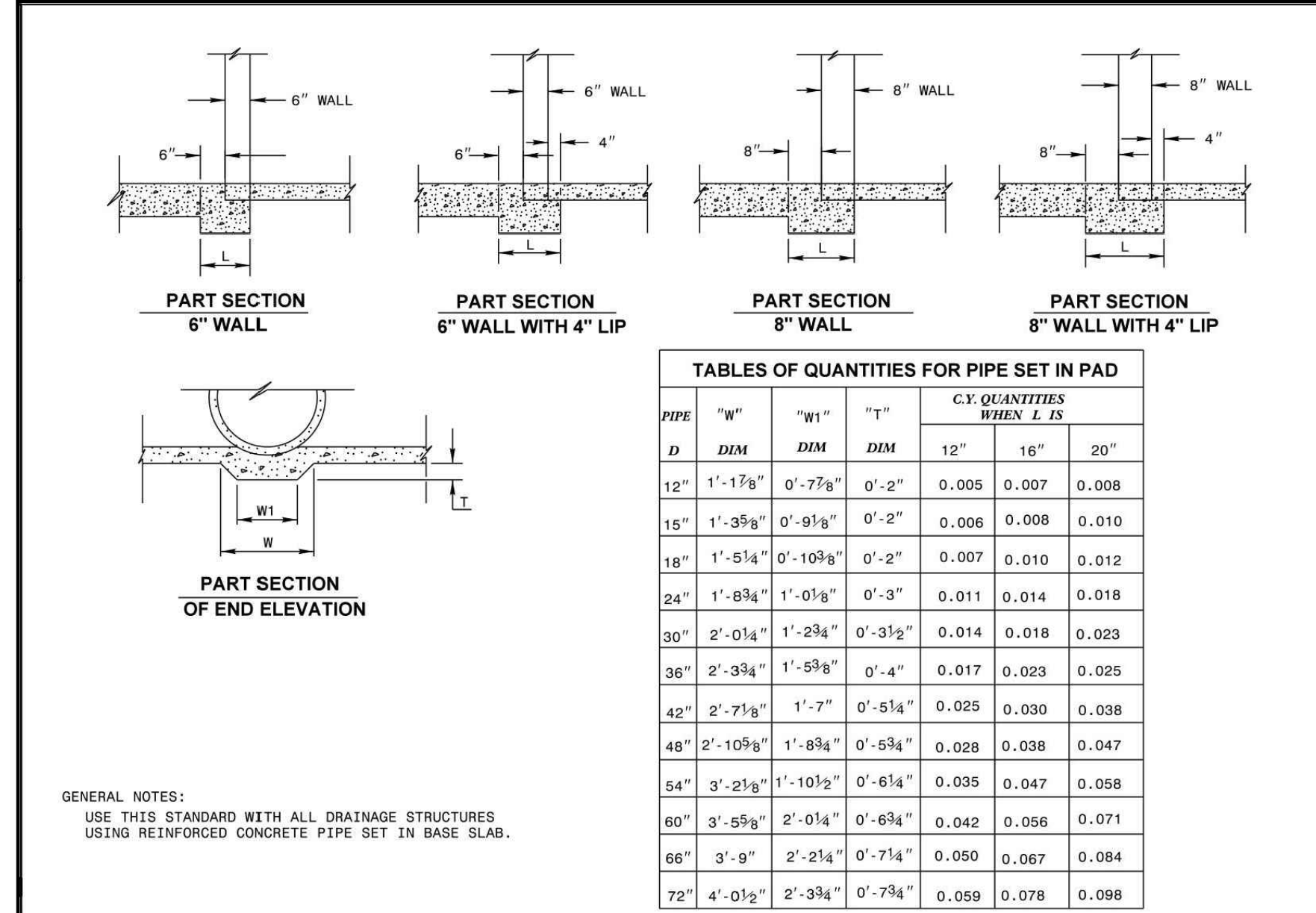
REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	LAB23003
FILENAME	LAB23003D1
CHECKED BY	RTW
DRAWN BY	MJD
SCALE	NTS
DATE	07.23.2024

M:\Projects\LAB23003\03-Production\Engineering\Construction Drawings\Current Drawings\LAB23003D1.dwg, 7/23/2024 5:44:39 PM, Mikalaha Blackwood



CLIENT

LATINO COMMUNITY CREDIT UNION
100 WEST MORGAN STREET
DURHAM, NC 27701
PHONE: 919.595.1733



LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003D1
CHECKED BY RTW
DRAWN BY MJD
SCALE NTS
DATE 07.23.2024

DRAINAGE DETAILS

C8.04

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\LAB\LAB23003\04-Production\Drawings\Construction\Engineering\Construction Drawing\LAB23003D1.dwg, 7/23/2024 5:43:31 PM, Mikalsha Blackwood

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STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE JUNCTION BOX
(WITH OPTIONAL MANHOLE)
FOR USE WITH PIPES 42" AND UNDER
12" THRU 66" PIPE

GENERAL NOTES:
CHAMFER ALL EXPOSED CORNERS 1".
USE CLASS "B" CONCRETE THROUGHOUT.
OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY, OR #4 BAR CHAINS AT 12" CENTERS AS DIRECTED BY THE ENGINEER. USE FORMS TO CONSTRUCT THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD NO. 840.54.
PROVIDE ALL JUNCTION BOXES OVER 3' 6" IN DEPTH WITH STEPS 12" ON CENTERS IN ACCORDANCE WITH STD. NO. 840.66.
ADJUST THE STEEL, CONCRETE AND BRICK MASONRY QUANTITIES TO INCLUDE THE WIDTH OF THE MANHOLE (I.E. STANDARD BARS SHORTENED AROUND OPENING IN TOP SLAB. ADDITIONAL VARIABLE HEIGHT BRICK MASONRY, OPENING IN TOP SLAB).
MAX. DEPTH OF THIS STRUCTURE FROM TOP OF BOTTOM SLAB TO TOP ELEVATION IS 12 FEET.

BILL OF MATERIAL

BAR	QTY.	SIZE	LENGTH	WEIGHT
A	8	#5	11'-3"	9.7
B	14	#5	5'-0"	10.3
C	28	#4	11'-0"	26.1
D	14	#5	0'-11 1/2"	101.5
E	14	#5	0'-11 1/2"	101.5
F	14	#5	0'-11 1/2"	101.5
G	14	#5	0'-11 1/2"	101.5
H	14	#5	0'-11 1/2"	101.5
I	14	#5	0'-11 1/2"	101.5
J	14	#5	0'-11 1/2"	101.5
K	14	#5	0'-11 1/2"	101.5
L	14	#5	0'-11 1/2"	101.5
M	14	#5	0'-11 1/2"	101.5
N	14	#5	0'-11 1/2"	101.5
O	14	#5	0'-11 1/2"	101.5
P	14	#5	0'-11 1/2"	101.5
Q	14	#5	0'-11 1/2"	101.5
R	14	#5	0'-11 1/2"	101.5
S	14	#5	0'-11 1/2"	101.5
T	14	#5	0'-11 1/2"	101.5
U	14	#5	0'-11 1/2"	101.5
V	14	#5	0'-11 1/2"	101.5
W	14	#5	0'-11 1/2"	101.5
X	14	#5	0'-11 1/2"	101.5
Y	14	#5	0'-11 1/2"	101.5
Z	14	#5	0'-11 1/2"	101.5
AA	14	#5	0'-11 1/2"	101.5
AB	14	#5	0'-11 1/2"	101.5
AC	14	#5	0'-11 1/2"	101.5
AD	14	#5	0'-11 1/2"	101.5
AE	14	#5	0'-11 1/2"	101.5
AF	14	#5	0'-11 1/2"	101.5
AG	14	#5	0'-11 1/2"	101.5
AH	14	#5	0'-11 1/2"	101.5
AI	14	#5	0'-11 1/2"	101.5
AJ	14	#5	0'-11 1/2"	101.5
AK	14	#5	0'-11 1/2"	101.5
AL	14	#5	0'-11 1/2"	101.5
AM	14	#5	0'-11 1/2"	101.5
AN	14	#5	0'-11 1/2"	101.5
AO	14	#5	0'-11 1/2"	101.5
AP	14	#5	0'-11 1/2"	101.5
AQ	14	#5	0'-11 1/2"	101.5
AR	14	#5	0'-11 1/2"	101.5
AS	14	#5	0'-11 1/2"	101.5
AT	14	#5	0'-11 1/2"	101.5
AU	14	#5	0'-11 1/2"	101.5
AV	14	#5	0'-11 1/2"	101.5
AW	14	#5	0'-11 1/2"	101.5
AX	14	#5	0'-11 1/2"	101.5
AY	14	#5	0'-11 1/2"	101.5
AZ	14	#5	0'-11 1/2"	101.5
BA	14	#5	0'-11 1/2"	101.5
BB	14	#5	0'-11 1/2"	101.5
BC	14	#5	0'-11 1/2"	101.5
BD	14	#5	0'-11 1/2"	101.5
BE	14	#5	0'-11 1/2"	101.5
BF	14	#5	0'-11 1/2"	101.5
BG	14	#5	0'-11 1/2"	101.5
BH	14	#5	0'-11 1/2"	101.5
BI	14	#5	0'-11 1/2"	101.5
BJ	14	#5	0'-11 1/2"	101.5
BK	14	#5	0'-11 1/2"	101.5
BL	14	#5	0'-11 1/2"	101.5
BM	14	#5	0'-11 1/2"	101.5
BN	14	#5	0'-11 1/2"	101.5
BO	14	#5	0'-11 1/2"	101.5
BP	14	#5	0'-11 1/2"	101.5
BQ	14	#5	0'-11 1/2"	101.5
BR	14	#5	0'-11 1/2"	101.5
BS	14	#5	0'-11 1/2"	101.5
BT	14	#5	0'-11 1/2"	101.5
BU	14	#5	0'-11 1/2"	101.5
BV	14	#5	0'-11 1/2"	101.5
BW	14	#5	0'-11 1/2"	101.5
BX	14	#5	0'-11 1/2"	101.5
BY	14	#5	0'-11 1/2"	101.5
BZ	14	#5	0'-11 1/2"	101.5
CA	14	#5	0'-11 1/2"	101.5
CB	14	#5	0'-11 1/2"	101.5
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CD	14	#5	0'-11 1/2"	101.5
CE	14	#5	0'-11 1/2"	101.5
CF	14	#5	0'-11 1/2"	101.5
CG	14	#5	0'-11 1/2"	101.5
CH	14	#5	0'-11 1/2"	101.5
CI	14	#5	0'-11 1/2"	101.5
CJ	14	#5	0'-11 1/2"	101.5
CK	14	#5	0'-11 1/2"	101.5
CL	14	#5	0'-11 1/2"	101.5
CM	14	#5	0'-11 1/2"	101.5
CN	14	#5	0'-11 1/2"	101.5
CO	14	#5	0'-11 1/2"	101.5
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CQ	14	#5	0'-11 1/2"	101.5
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CS	14	#5	0'-11 1/2"	101.5
CT	14	#5	0'-11 1/2"	101.5
CU	14	#5	0'-11 1/2"	101.5
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CY	14	#5	0'-11 1/2"	101.5
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DY	14	#5	0'-11 1/2"	101.5
DZ	14	#5	0'-11 1/2"	101.5
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EW	14	#5	0'-11 1/2"	101.5
EX	14	#5	0'-11 1/2"	101.5
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FC	14	#5	0'-11 1/2"	101.5
FD	14	#5	0'-11 1/2"	101.5
FE	14	#5	0'-11 1/2"	101.5
FF	14	#5	0'-11 1/2"	101.5
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GL	14	#5	0'-11 1/2"	101.5
GM	14	#5	0'-11 1/2"	101.5
GN	14	#5	0'-11 1/2"	101.5
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GY	14	#5	0'-11 1/2"	101.5
GZ	14	#5	0'-11 1/2"	101.5
HA	14	#5	0'-11 1/2"	101.5
HB	14	#5	0'-11 1/2"	101.5
HC	14	#5	0'-11 1/2"	101.5
HD	14	#5	0'-11 1/2"	101.5
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HI	14	#5	0'-11 1/2"	101.5
HJ	14	#5	0'-11 1/2"	101.5
HK	14	#5	0'-11 1/2"</	

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20H25
- APPROX. LINEAR FOOTAGE = 248 LF

STORAGE SUMMARY

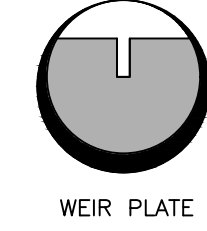
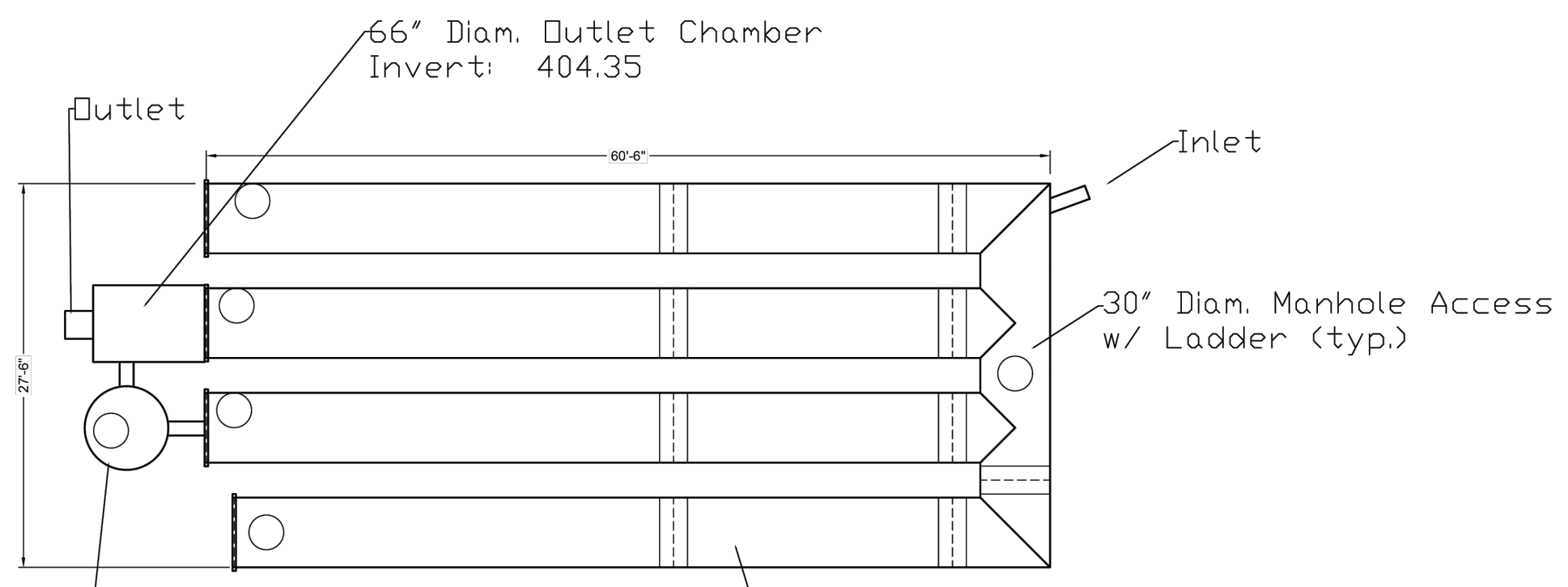
- STORAGE VOLUME REQUIRED = 4,600 CF
- PIPE STORAGE VOLUME = 4,989 CF
- BACKFILL STORAGE VOLUME = 0 CF
- TOTAL STORAGE PROVIDED = 4,916 CF w/ 6" Freeboard

PIPE DETAILS

- DIAMETER = 60"
- CORRUIGATION = 5x1
- GAGE = 14
- COATING = ALT2
- WALL TYPE = SOLID
- BARREL SPACING = 30"

BACKFILL DETAILS

- WIDTH AT ENDS = 12"
- ABOVE PIPE = 0"
- WIDTH AT SIDES = 12"
- BELOW PIPE = 0"



66" Diam. Outlet Chamber
Invert: 404.35

Outlet

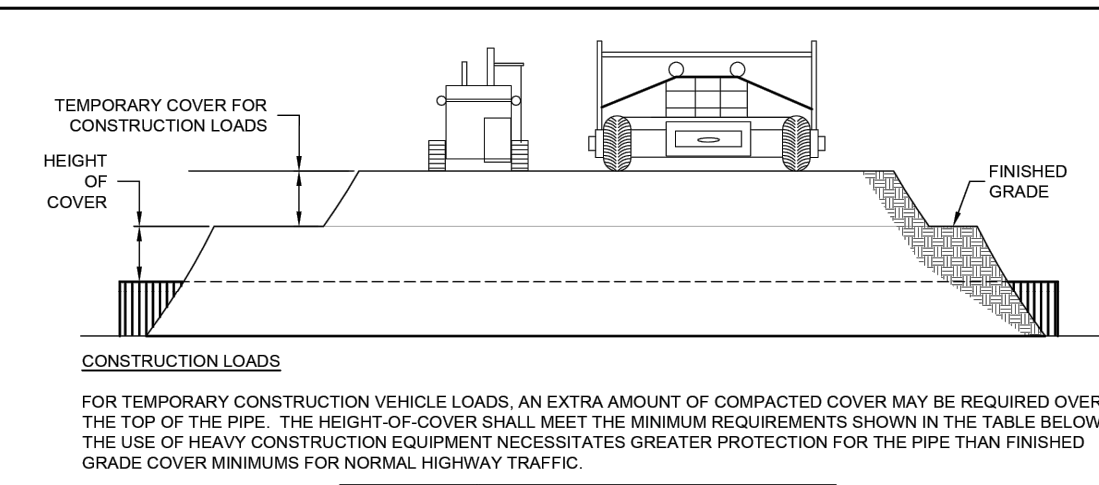
30" Diam. Manhole Access
w/ Ladder (typ.)

72" Diam. Storm Filter
w/ 6 ea - 18" Low Drop Cartridges
Media: Phosphosorb per MDC

248 LF - 60" Diam. Aluminumized Pipe
Storage Volume Required: 4600 CF
Volume Provided: 4616 CF w/ 6" Freeboard
System Invert: 404.85

ASSEMBLY
SCALE: 1" = 10'

CONTECH ENGINEERED SOLUTIONS LLC	CONTECH CMP DETENTION SYSTEMS	DYO38736 LCCU - Morrisville WQV+Main Detention Morrisville, NC DETENTION SYSTEM
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399 800-338-1122 513-645-7000 513-645-7993 FAX	CONTECH DYOIDS DRAWING	PROJECT NO. 2009 REV. NO. 3076 DATE 11/19/2023
DATE	REVISION DESCRIPTION	BY



CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM

SCOPE
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL
THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.

POLYMER COATED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-248 OR ASTM A-782.

ALUMINUM: AASHTO M-198 OR ASTM B-745

HANDLING AND ASSEMBLY
SHALL BE IN ACCORDANCE WITH NCSPPS (NATIONAL CORRUGATED STEEL PIPE ASSOCIATION) FOR ALUMINIZED TYPE 2 GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION
SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II (DIVISION II) OR ASTM A-788 FOR ALUMINIZED TYPE 2 GALVANIZED OR POLYMER COATED STEEL OR ASTM B-788 FOR ALUMINUM PIPE AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

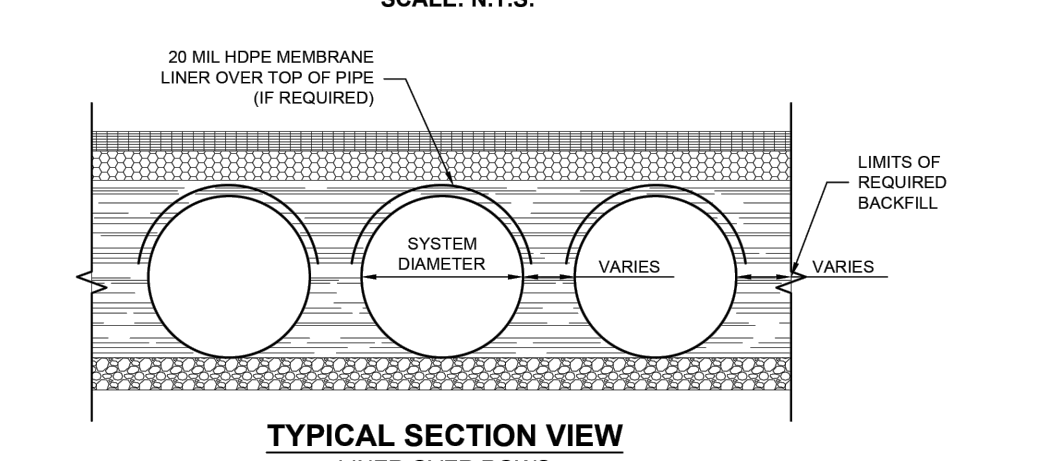
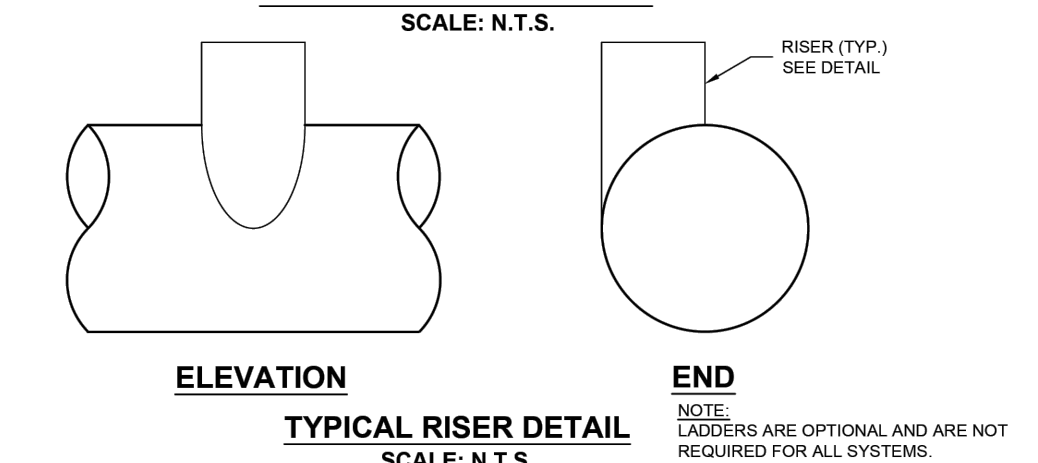
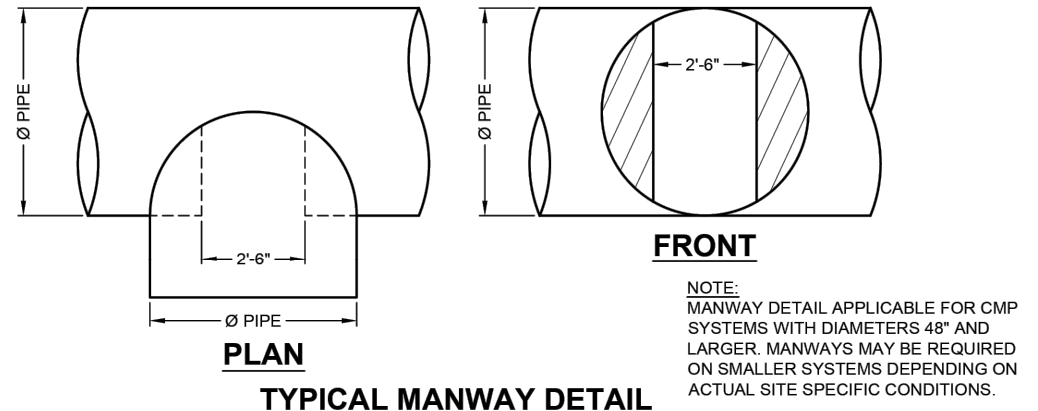
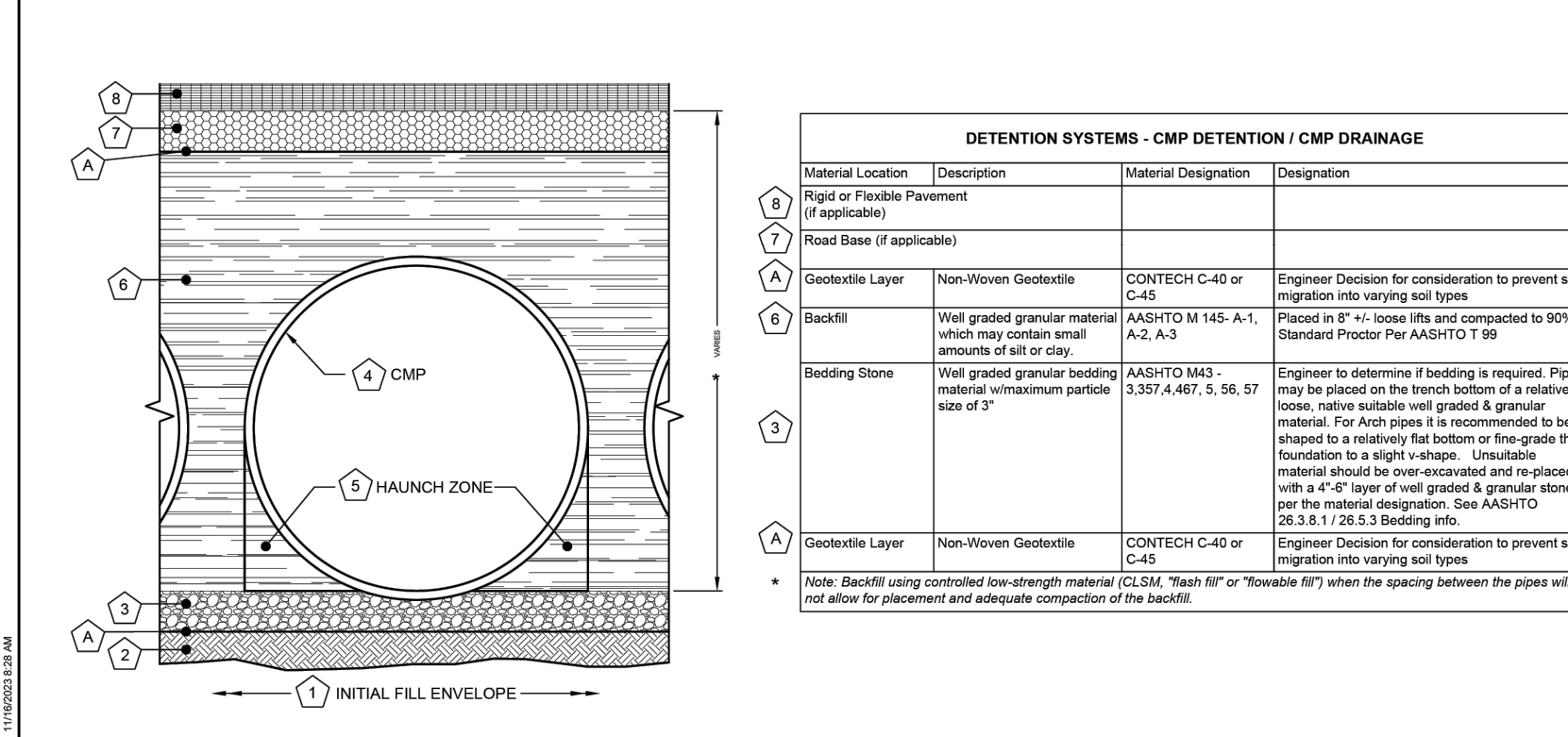
ROUND OPTION PLAN VIEW

SQUARE OPTION PLAN VIEW

- NOTES:**
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION
 - DESIGN LOAD HS25.
 - EARTH COVER = 1 MAX.
 - CONCRETE STRENGTH = 3,000 psi
 - REINFORCING STEEL - ASTM A615, GRADE 60.
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
 - TRIM OPENING WITH DIAGONAL #4 BARS. EXTEND BARS A MINIMUM OF 12" BEYOND OPENING. BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
 - DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL
SCALE: N.T.S.

CONTECH ENGINEERED SOLUTIONS LLC	CONTECH CMP DETENTION SYSTEMS	DYO38736 LCCU - Morrisville WQV+Main Detention Morrisville, NC DETENTION SYSTEM
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399 800-338-1122 513-645-7000 513-645-7993 FAX	CONTECH DYOIDS DRAWING	PROJECT NO. 2009 REV. NO. 3076 DATE 11/19/2023
DATE	REVISION DESCRIPTION	BY



CONTECH
ENGINEERED SOLUTIONS LLC

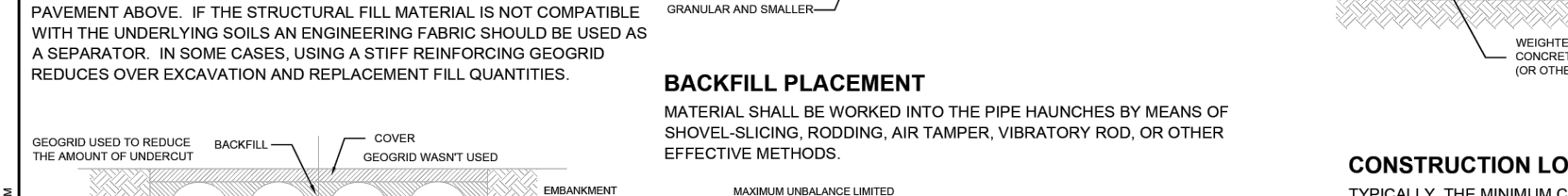
CONTECH
CMP DETENTION SYSTEMS

DYO38736 LCCU - Morrisville
WQV+Main Detention
Morrisville, NC
DETENTION SYSTEM

PROJECT NO. 2009	REV. NO. 3076	DATE 11/19/2023
DATE	REVISION DESCRIPTION	BY

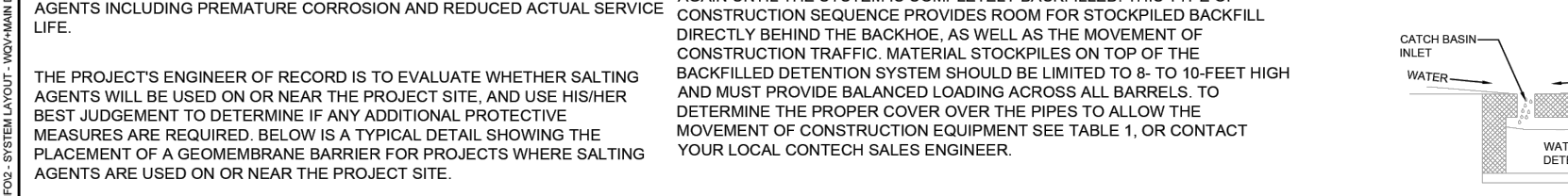
CMP DETENTION INSTALLATION GUIDE
PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY RECOMMENDS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION
CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION. IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



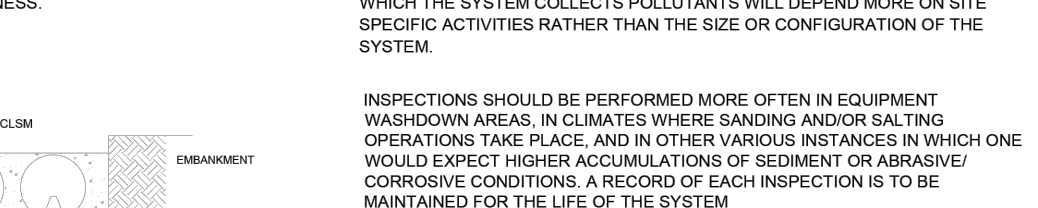
GEOMEMBRANE BARRIER
A SITE'S RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED, SUCH AS ROAD SALTS FOR DEICING AGENTS. IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM THE USE OF SUCH AGENTS INCLUDING PREMATURE CORROSION AND REDUCED ACTUAL SERVICE LIFE.

CONSTRUCTION TRAFFIC
THE PROJECT'S ENGINEER OF RECORD IS TO EVALUATE WHETHER SALTING AGENTS WILL BE USED ON OR NEAR THE PROJECT SITE, AND USE HIS/HER BEST JUDGEMENT TO DETERMINE IF ANY ADDITIONAL PROTECTIVE MEASURES ARE REQUIRED. BELOW IS A TYPICAL DETAIL SHOWING THE PLACEMENT OF A GEOMEMBRANE BARRIER FOR PROJECTS WHERE SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE
UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.

INSPECTION
INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING ANNUAL INSPECTIONS. SITES WITH HIGH TRASH LOAD OR SMALL OUTLET CONTROL ORIFICES MAY NEED MORE FREQUENT INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MOSTLY ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.

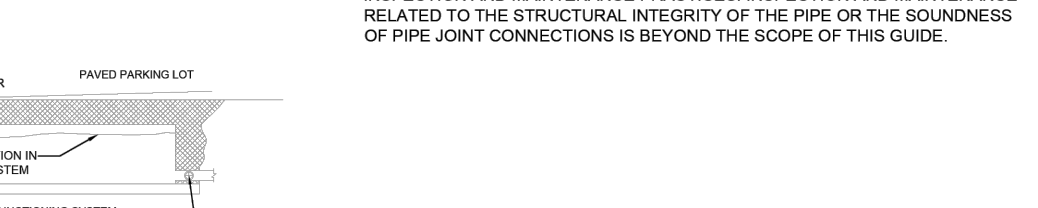


MAINTENANCE
CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.

ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEALED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESSIBLE MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONFINED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.

CONSTRUCTION LOADING
TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER. ALL REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS
BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION, POTENTIALLY CAUSING FLOUTATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CONTECH ENGINEERED SOLUTIONS LLC	CONTECH CMP DETENTION SYSTEMS	DYO38736 LCCU - Morrisville WQV+Main Detention Morrisville, NC DETENTION SYSTEM
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399 800-338-1122 513-645-7000 513-645-7993 FAX	CONTECH DYOIDS DRAWING	PROJECT NO. 2009 REV. NO. 3076 DATE 11/19/2023
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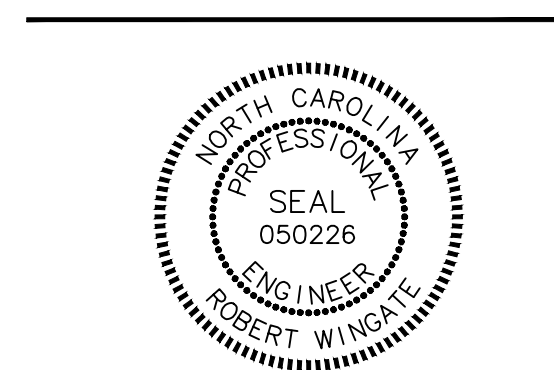


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PHONE: 919. 595. 1733



LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003SW1
CHECKED BY RTW
DRAWN BY MJD
SCALE NTS
DATE 07. 23. 2024

SHEET

SCM DETAILS

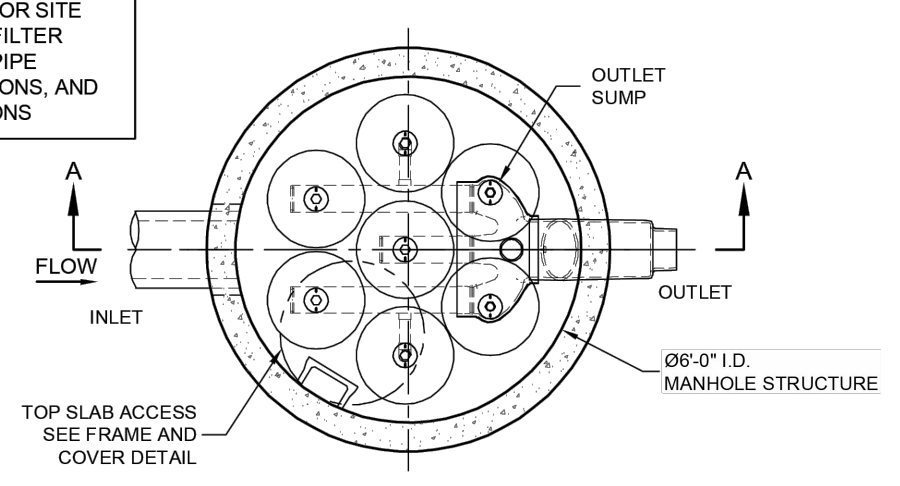
C9.00

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - RELEASED FOR CONSTRUCTION

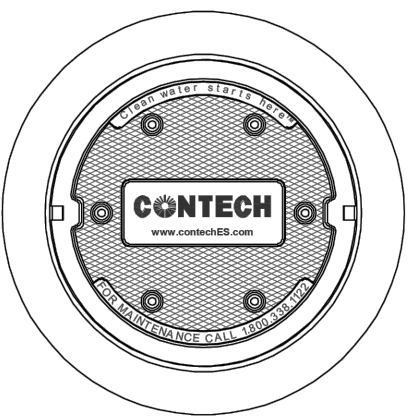
SEE STORM DRAIN TABLES AND DETAILS PER EOR FOR SITE SPECIFIC STORMFILTER INLET/OUTLET PIPE DIAMETERS, ELEVATIONS, AND CONFIGURATIONS



PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT: 42A

LCCU REV1
Morrisville, NC
Cartridges Required: 6 ea
Cartridge Height: 18" Low Drop
Media: Phosphosorb

Note: 18" Low Drop Cartridges require 1.80' of driving head (measured from WQVadj W.S.E. to StormFilter Outlet)

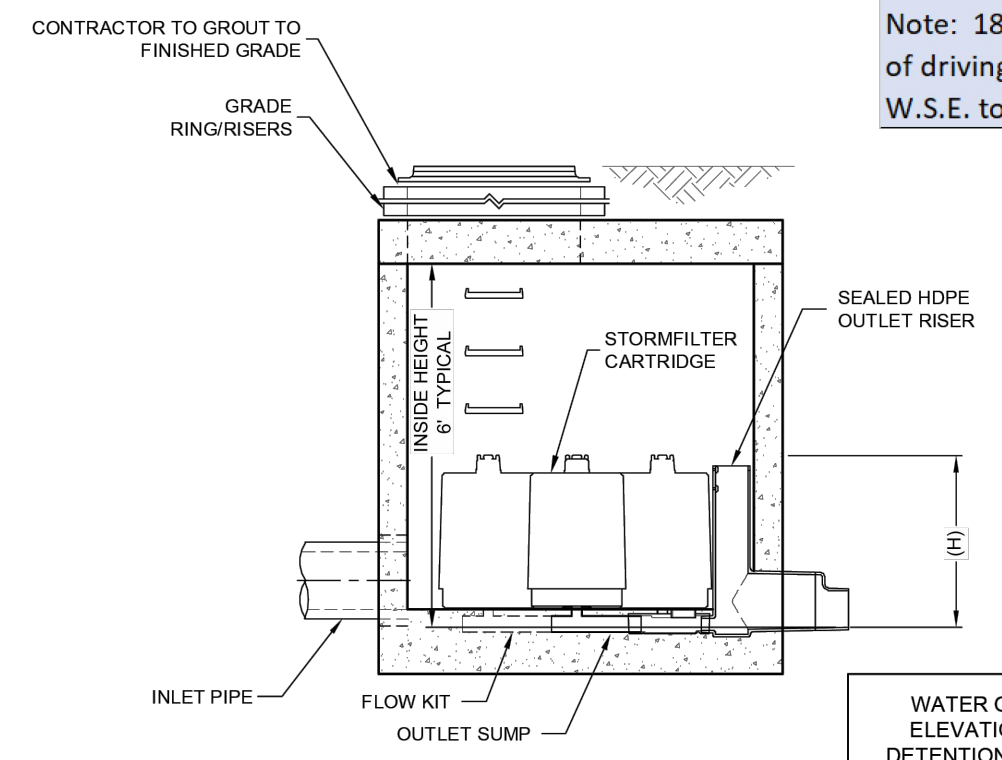


FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

PROJECT NAME	
LOCATION, NC	CES#XXXXXX-XXX
CARTRIDGE HEIGHT (SEE TABLE ABOVE)	
NUMBER OF CARTRIDGES REQUIRED	
MEDIA TYPE	
NOTES/SPECIAL REQUIREMENTS:	

STORMFILTER DESIGN NOTES			
STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (7). 6" OF DROP FROM INLET TO OUTLET IS REQUIRED FOR ALL CARTRIDGE SIZE OPTIONS.			
CARTRIDGE SELECTION:			
CARTRIDGE HEIGHT	27"	18"	LOW DROP
MINIMUM ACTIVATION HEAD (H)	3.05'	2.3'	1.8'
SPECIFIC FLOW RATE (PER NCDEQ MDC 2)	1 GPM/SF (ALL CARTRIDGE HEIGHTS)		
CARTRIDGE FLOW RATE	7.5 GPM (ALL CARTRIDGE HEIGHTS)		

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contechES.com
 - STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' (1524 mm) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES (178 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
 - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) [sq m].
 - STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO AASHTO C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
 - CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HDPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES (200 mm), CONTRACTOR TO REMOVE THE 8 INCH (200 mm) OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERROD OR EQUAL AND PROVIDED BY CONTRACTOR.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



SECTION A-A

WATER QUALITY VOLUME ELEVATION IN UPSTREAM DETENTION MAY BE GREATER THAN OR EQUAL TO PROJECT SPECIFIC ACTIVATION HEAD (H)

Inv. In: 404.85
Inv. Out: 404.35

*Formal Site-Specific Drawings/Details will be furnished as Project Submittals after receiving LOI or Notice to Proceed.



SFMH72
POST DETENTION STORMFILTER
MORRISVILLE, NC
LCCU
CES 771,478

RELEASE RATE MANAGEMENT RESULTS

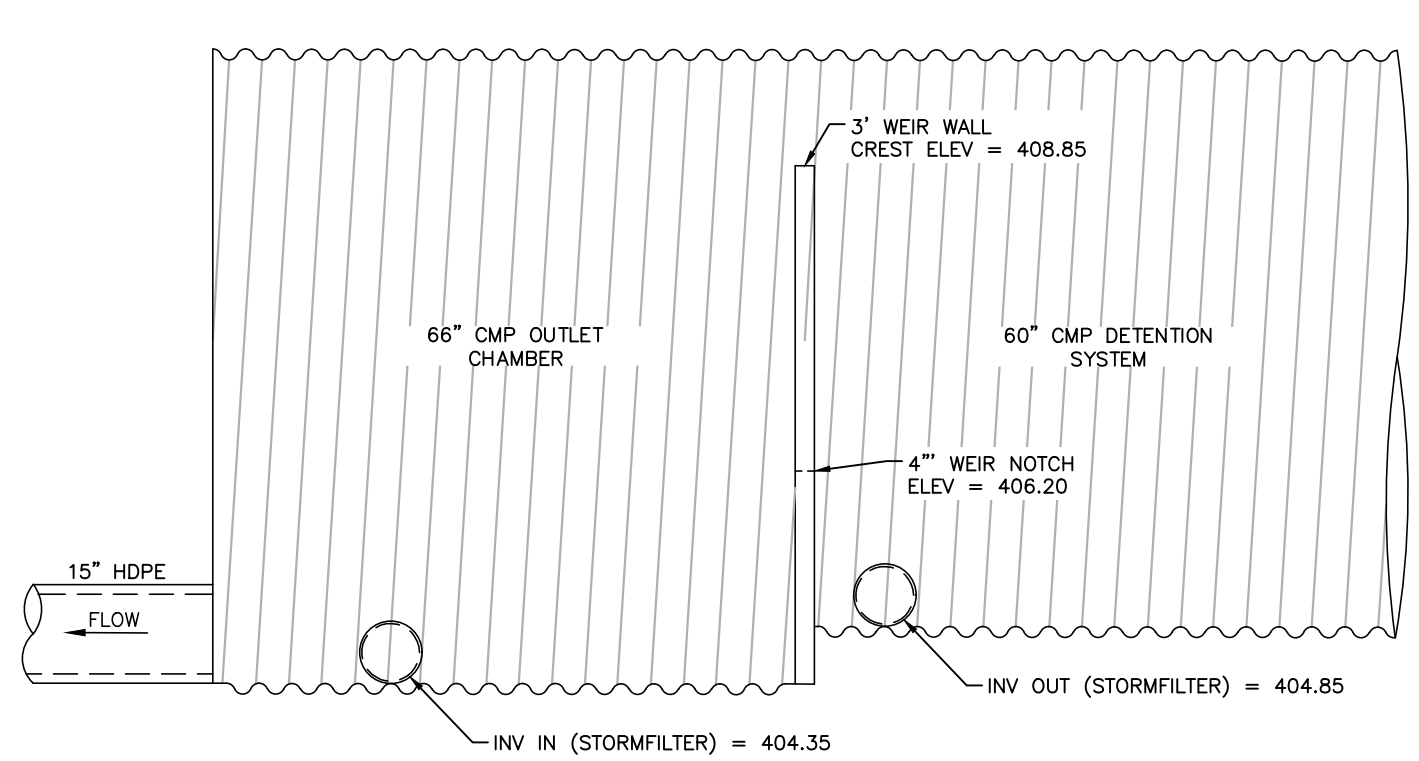
RETURN PERIOD	PRE-DEV [CFS]	POST-DEV [CFS]	% INCREASE [%]
1-YEAR	2.3	1.7	-27 %
2-YEAR	3.2	2.5	-21 %
10-YEAR	5.6	4.8	-15 %
25-YEAR	7.0	6.0	-14 %
100-YEAR	9.4	9.1	-4 %

SCM SUMMARY

	DESIGN / PROVIDED	AS-BUILT
DRAINAGE AREA =	0.75	AC*
IMPERVIOUS AREA =	0.40	AC*
% IMPERVIOUS =	53.3%	
*TOTAL DRAINAGE AREA TO SCM WAS UTILIZED FOR VAULT SIZING AND ROUTING		
TOP OF STORAGE PIPE ELEV. =	409.85	FT
PIPE DIAMETER =	5.00	FT
TOTAL AVAILABLE VOLUME =	4,870	CF
WQV _{adj} =	1.082	CF*
WQV DEPTH =	1.35	FT
WQV ELEVATION =	406.20	FT

SCM ROUTING RESULTS

RETURN PERIOD	INFLOW [CFS]	OUTFLOW [CFS]	MAX WSE [FT]	FREEBOARD [FT]	MAX STORAGE VOLUME [CF]
1-YEAR	2.5	1.0	407.11	2.74	2,135
2-YEAR	3.2	1.6	407.46	2.39	2,570
10-YEAR	5.0	3.2	408.23	1.62	3,495
25-YEAR	6.1	4.2	408.61	1.24	3,923
100-YEAR	7.8	6.6	409.09	0.76	4,385



CMP DETENTION PROFILE VIEW
N.T.S.

TOP OF DETENTION = 409.85
100-YEAR STORM EL. = 409.10
25-YEAR STORM EL. = 408.64
10-YEAR STORM EL. = 408.26
2-YEAR STORM EL. = 407.53
1-YEAR STORM EL. = 407.18
WQV EL. = 406.20
INVERT 60" = 404.85

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603
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fax 919. 361. 2269
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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
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3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003SW1
CHECKED BY RTW
DRAWN BY MJD
SCALE NTS
DATE 07.23.2024

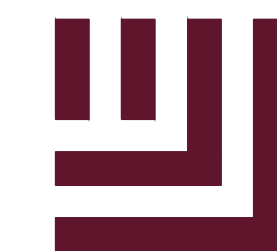
SHEET

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

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SCM DETAILS
C9.01
FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\LAB\LAB23003\04-Production\Engineering\Construction Drawings\Current Drawings\LAB23003SW1.dwg, 7/23/2024 5:44:48 PM, Mikahla Blumwood



McADAMS

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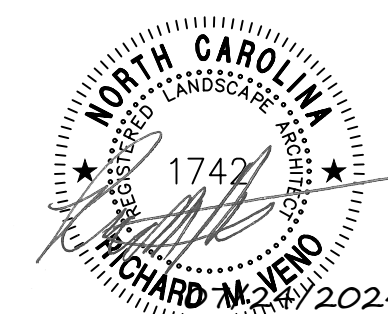
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SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



REVISIONS

NO.	DATE	DESCRIPTION
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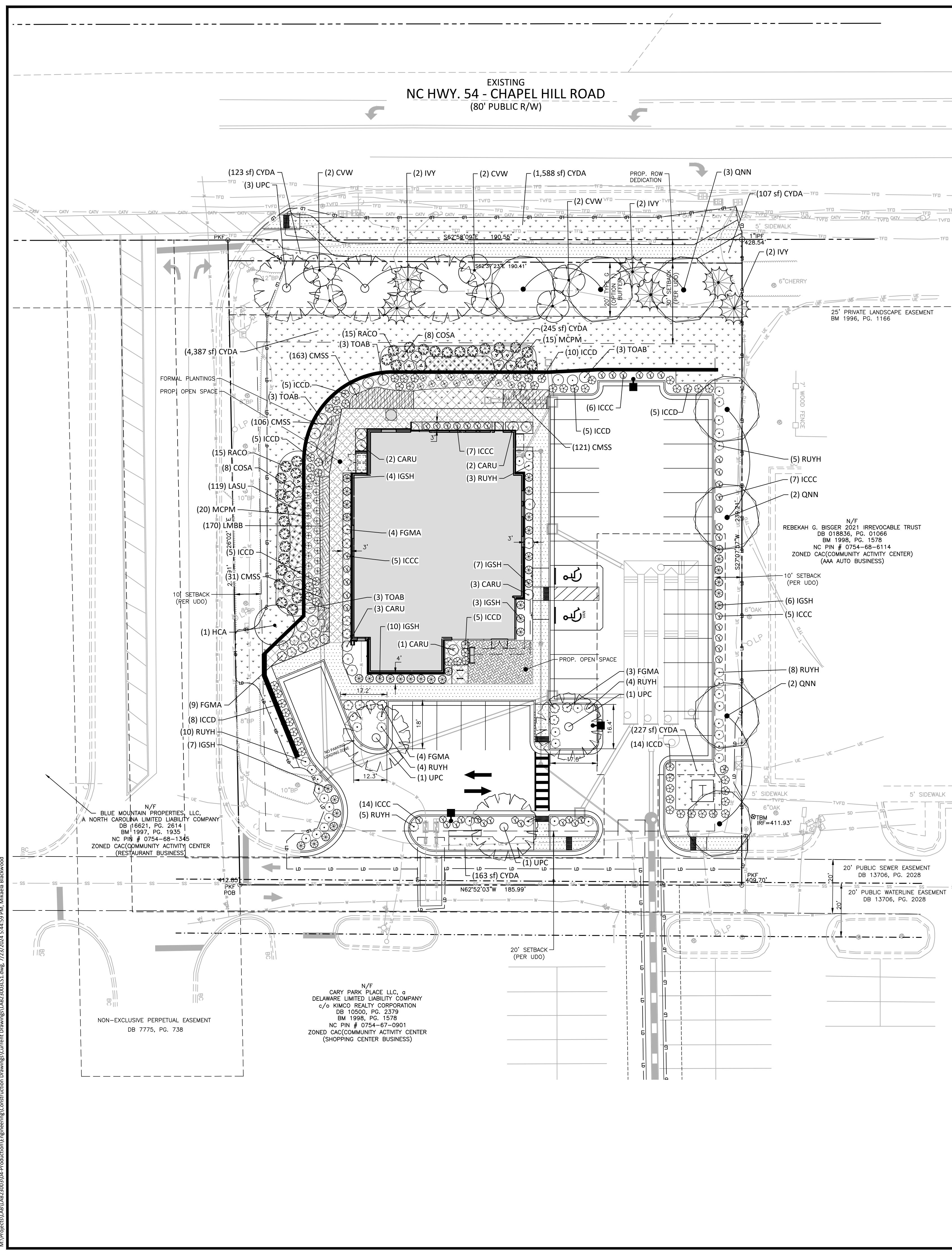
PLAN INFORMATION

PROJECT NO. LAB23003
FILENAME LAB23003L51
CHECKED BY RTW
DRAWN BY MJD
SCALE 1" = 20'
DATE 07.23.2024

SHEET

LANDSCAPE PLAN

L5.00



OPEN SPACE AREA

*ADDITIONAL FORMAL PLANTINGS PROVIDED TO MEET COMMON OPEN SPACE REQUIREMENTS, SECTION 5.5.1.C.2. SEE SHEET C2.04 FOR OPEN SPACE PLAN.

LANDSCAPING REQUIREMENTS, STANDARDS & CALCULATIONS:

PER TOWN OF MORRISVILLE UNIFIED DEVELOPMENT ORDINANCE

A. 20' BUFFER TYPE G - STREET/ALLEY (NORTH): 190 LF - SECTION 5.7
REQUIRED 1. 3 SHADE TREES PER 100 LF (25 FT SPACING) = 6 TREES
2. 6 UNDERSTORY TREES PER 100 LF = 12 TREES

PROVIDED 1. 6 SHADE TREES
2. 12 UNDERSTORY TREES

B. VEHICLE USE AREA - SECTION 5.12.4

GENERAL:
1. NO PARKING SPACE SHALL BE LOCATED FARTHER THAN 50 FEET FROM THE TRUNK OF A SHADE TREE.
2. LANDSCAPED ISLANDS ARE REQUIRED FOR EVERY 20 PARKING SPACES
3. PLANTED ISLANDS BE AT LEAST 175 SQUARE FEET, 10 FEET WIDE, AND CONTAIN AT LEAST ONE SHADE TREE

PERIMETER LANDSCAPING:

REQUIRED 1. CONTINUOUS SCREEN
2. 75 PERCENT OPAQUE WITHIN 1 YEAR
3. 30 IN ABOVE GROUND LEVEL AT TIME OF INSTALLATION
4. MINIMUM 4 FEET WIDE

INTERIOR LANDSCAPING: 13,220 SF

REQUIRED 1. 1 SHADE TREE PER 2,000 SQ FT VUA AREA = 7 TREES
2. 10 SHRUBS PER 2,000 SQ FT VUA AREA = 66 SHRUBS
3. MAX OF 25 PERCENT DECIDUOUS SHRUBS = 17 DECIDUOUS SHRUBS

TOTAL PROVIDED: 1. 7 SHADE TREES
2. 112 SHRUBS (7 DECIDUOUS SHRUBS = 6.25 PERCENT)

C. FOUNDATION PLANTINGS - SECTION 5.12.5

1. SHALL BE PLANTED WITHIN 5 FEET OF THE BUILDING FOUNDATION, OR ANY PATIO, TERRACE, OR COURTYARD EXTENDING FROM THE FOUNDATION
2. FOUNDATION BED IS A MINIMUM OF 3 FEET IN WIDTH
3. MAXIMUM SPACING OF 6 FEET
4. INCLUDE BOTH EVERGREEN AND DECIDUOUS VEGETATION OF VARYING HEIGHT AND SPECIES
5. PLANTED IN THE GROUND, WITHIN PLANTERS, OR DECORATIVE POTS

REQUIRED 1. NORTH (64.39 LF) = 11 SHRUBS (6' OC)
2. EAST (90.52 LF) = 15 SHRUBS (6' OC)
3. SOUTH (64.39 LF) = 11 SHRUBS (6' OC)
4. WEST (90.52 LF) = 15 SHRUBS (6' OC)

PROVIDED 1. NORTH = 11 SHRUBS
2. EAST = 23 SHRUBS
3. SOUTH = 18 SHRUBS
4. WEST = 18 SHRUBS

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
TREES						
●	HCA	1	Carolina Silverbell	Halesia carolina	2" min	8' min
UNDERSTORY TREES						
○	CVW	6	White Fringetree	Chionanthus virginicus	2" min	8' min
CANOPY TREES						
○	QNN	7	Nuttall Oak	Quercus nuttalli	3.5" min	14' min
○	UPC	6	Chinese Elm	Ulmus parvifolia	3.5" min	14' min
EVERGREEN UNDERSTORY TREES						
○	IVY	6	Yaupon Holly	Ilex vomitoria	2" min	8' min
SHRUBS						
○	COSA	16	Willowleaf Cotoneaster	Cotoneaster salicifolius	#3	10" min
○	RACO	30	Autumn Rouge® Encore® Azalea	Rhododendron x 'Conlea'	#3	24" min
DECIDUOUS SHRUBS						
○	CARU	11	Ruby Spice Summersweet	Clethra alnifolia 'Ruby Spice'	#3	24" min
○	FGMA	20	Mt. Airy Dwarf Witchalder	Fothergilla gardenii 'Mt. Airy'	#3	24" min
EVERGREEN SHRUBS						
○	ICCC	44	Carissa Holly	Ilex cornuta 'Carissa'	#3	24" min
○	ICCD	62	Dwarf Japanese Holly	Ilex crenata 'Compacta'	#3	24" min
○	IGSH	37	Shamrock Inkberry Holly	Ilex glabra 'Shamrock'	#3	24" min
○	RUYH	39	Yedda Hawthorn	Rhampholepis umbellata	#3	24" min
○	TOAB	12	North Pole® Arborvitae	Thuja occidentalis 'Art Boe'	#7	30" min
GRASSES						
○	MCPM	35	Pink Muhly	Muhlenbergia capillaris	#3	
GROUND COVERS						
■	CMSS	421	Japanese Sedge	Carex morrowii 'Silver Sceptre'	Flat	12" o.c.
■	CYDA	6,840 sf	Bermuda 419	Cynodon dactylon	Sod	
■	LASU	119	SuperBlue English Lavender	Lavandula angustifolia 'SuperBlue'	#1	12" o.c.
■	LMBB	170	Big Blue Lilyturf	Liriope muscari 'Big Blue'	#1	12" o.c.

ANOVIA
201 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1027 tel. 314.754.0823 fax
www.anoviamaterials.com
anoviamaterials.com

ICP/ALCS - Madison Recycled Plastic Contour Bench
6' contour bench with recycled plastic seat and back planks and steel armrests and legs

Material
The 6' contour bench is composed of 50" thick formed steel armrests and legs with 15" x 13 1/2" x 4" nominal dimension recycled plastic planks for the seat and back seat. The armrests are 3" wide and have individual light and dark end orientations. The bench is 78.25" long and will support 200 lbs per linear foot.
The bench is designed to be portable for flexibility in placement or surface mounted using predrilled 3/8" diameter holes to meet ground requirements. Mounting hardware is not included.
The planks are made of 95% recycled content by weight and are impervious to moisture and corrosion. We do not require the application of sealants or preservatives, and we never need painting or staining throughout the product's life.

Finish
Powder resistant, powder coated steel components feature a state-of-the-art primer process to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

Color
See website or sales representative for color choices.

Assembly
Some assembly is required. Assembly hardware is included.

Maintenance
The product is virtually maintenance free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

Warranty
20 year limited structural warranty on recycled plastic from the date of purchase. See full details on multiple warranties for components at www.anoviamaterials.com/Security.aspx

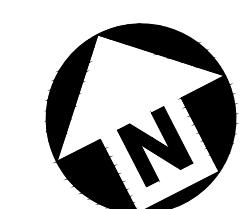
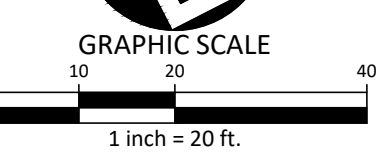
SHIPPING INFORMATION

Unit Weight	Unit Volume	Unit Volume	Unit Size (L x W x H)	Max Units Per Pallet	Pallet Size (W x L x H)	Total No. Pallets	Shipping Class
244 lbs	N/A	1.72/20.00	78.25" x 71.25" x 35.00"	5	100.00" x 100.00" x 100.00"	4	150

NOTES:
1. INSTALL PER MANUFACTURER RECOMMENDATIONS.
2. PLASTIC SLAT COLOR: MAHOGANY. FRAME COLOR: TEXTURED BLACK

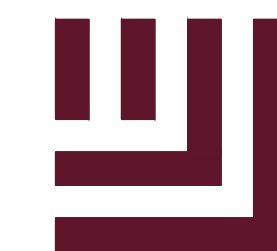
01 BENCH
SCALE: NTS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - RELEASED FOR CONSTRUCTION

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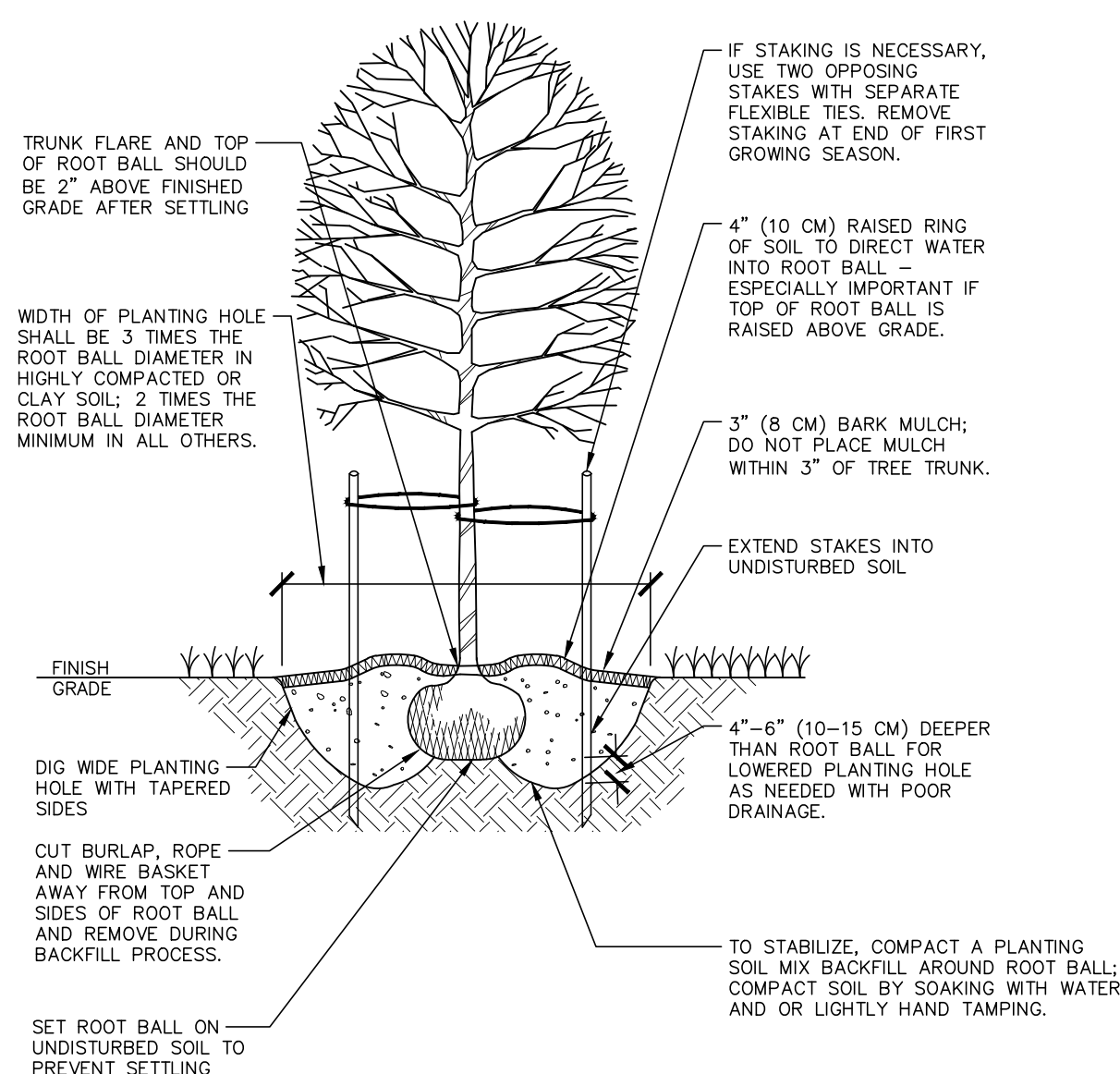


LCCU - MORRISVILLE
SITE PLAN / CONSTRUCTION PLAN
9521 CHAPEL HILL RD.
MORRISVILLE, NC



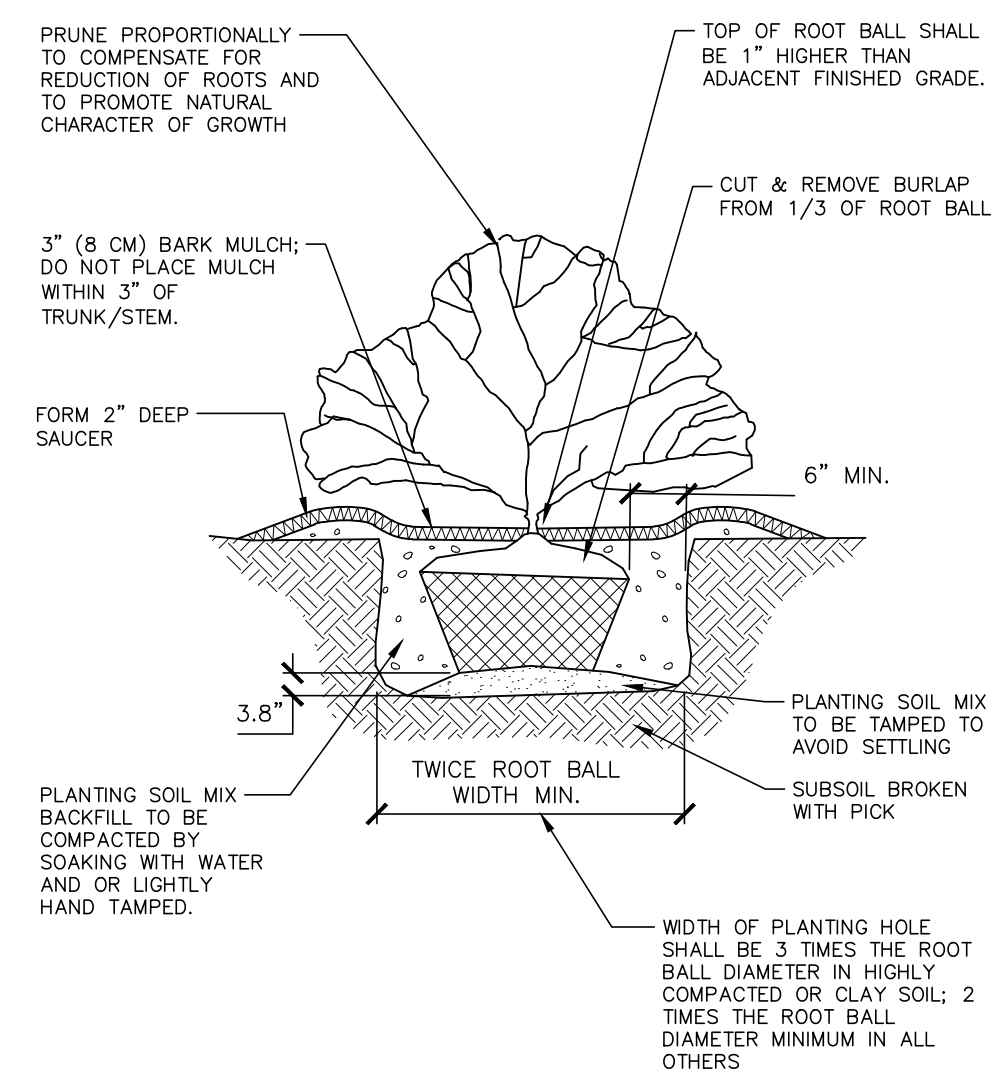
LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF MORRISVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL. NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- TURF INSTALLATIONS SHALL BE DEEMED SATISFACTORY IF THE FOLLOWING CRITERIA ARE MET:
 - SATISFACTORY SEEDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
 - SATISFACTORY SODDED TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
 - SATISFACTORY PLUGGED TURF: AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF PLUGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIABLE PATCHES OF GRASS, AND AREAS BETWEEN PLUGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
 - SATISFACTORY SPRIGGED TURF: AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF SPRIGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIABLE PLANTS, AND AREAS BETWEEN SPRIGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
- REESTABLISH TURF THAT DOES NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. PROVIDE TRIPLE-SHREDDED HARDWOOD MULCH. MULCH SHALL BE PROVIDED AROUND ALL SHRUB GROUPS.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- ALL LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY.
- ALL HOTBOXES AND OTHER ON GROUND / FREE STANDING MECHANICAL EQUIPMENT SHALL BE SCREENED WITH DENSE EVERGREEN VEGETATION AT LEAST THE HEIGHT OF THE EQUIPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE / OCCUPANCY.



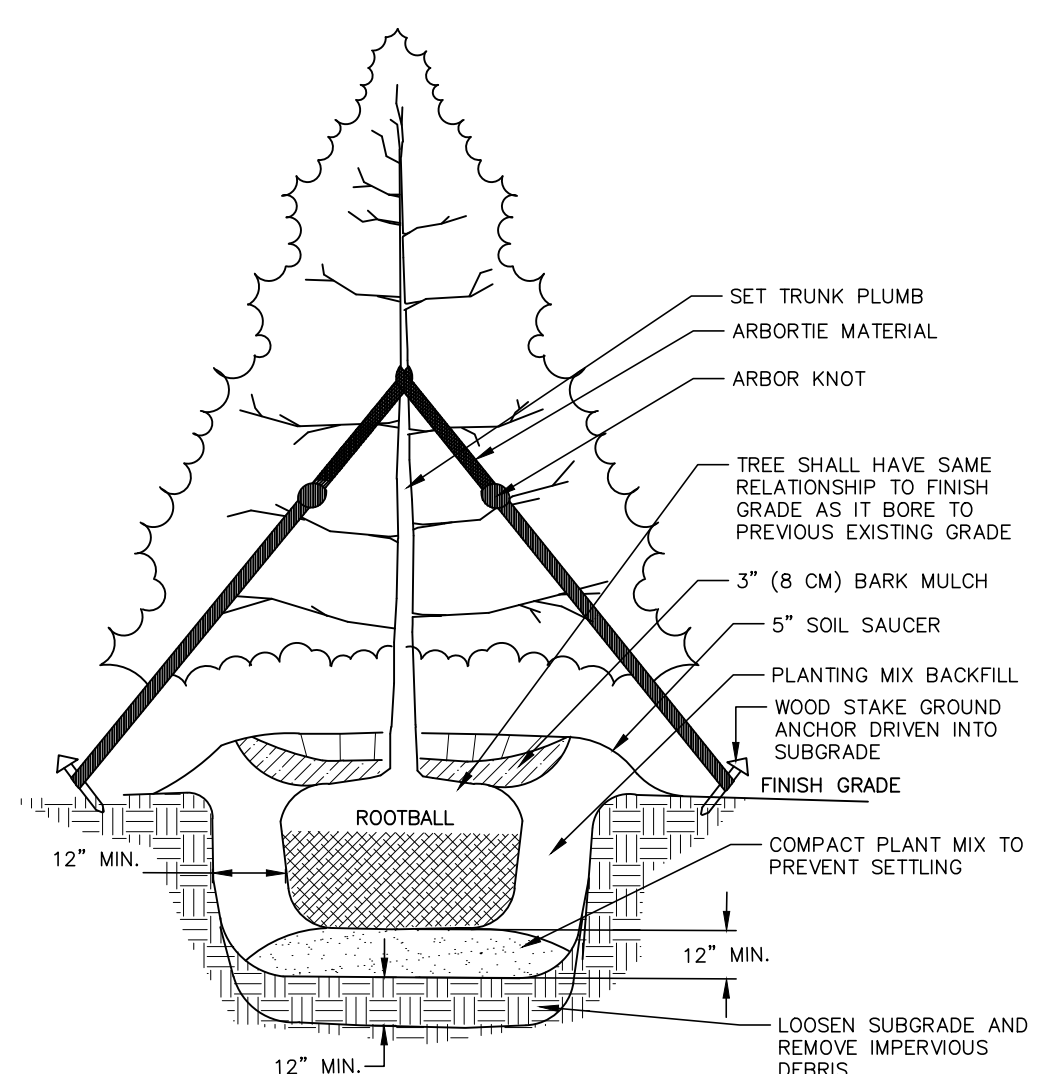
NOTES:

- SELECT TREES THAT HAVE: STRONG CENTRAL LEADER, CROWN WITH FULL FOLIAGE; ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
- BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
- A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
- IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.



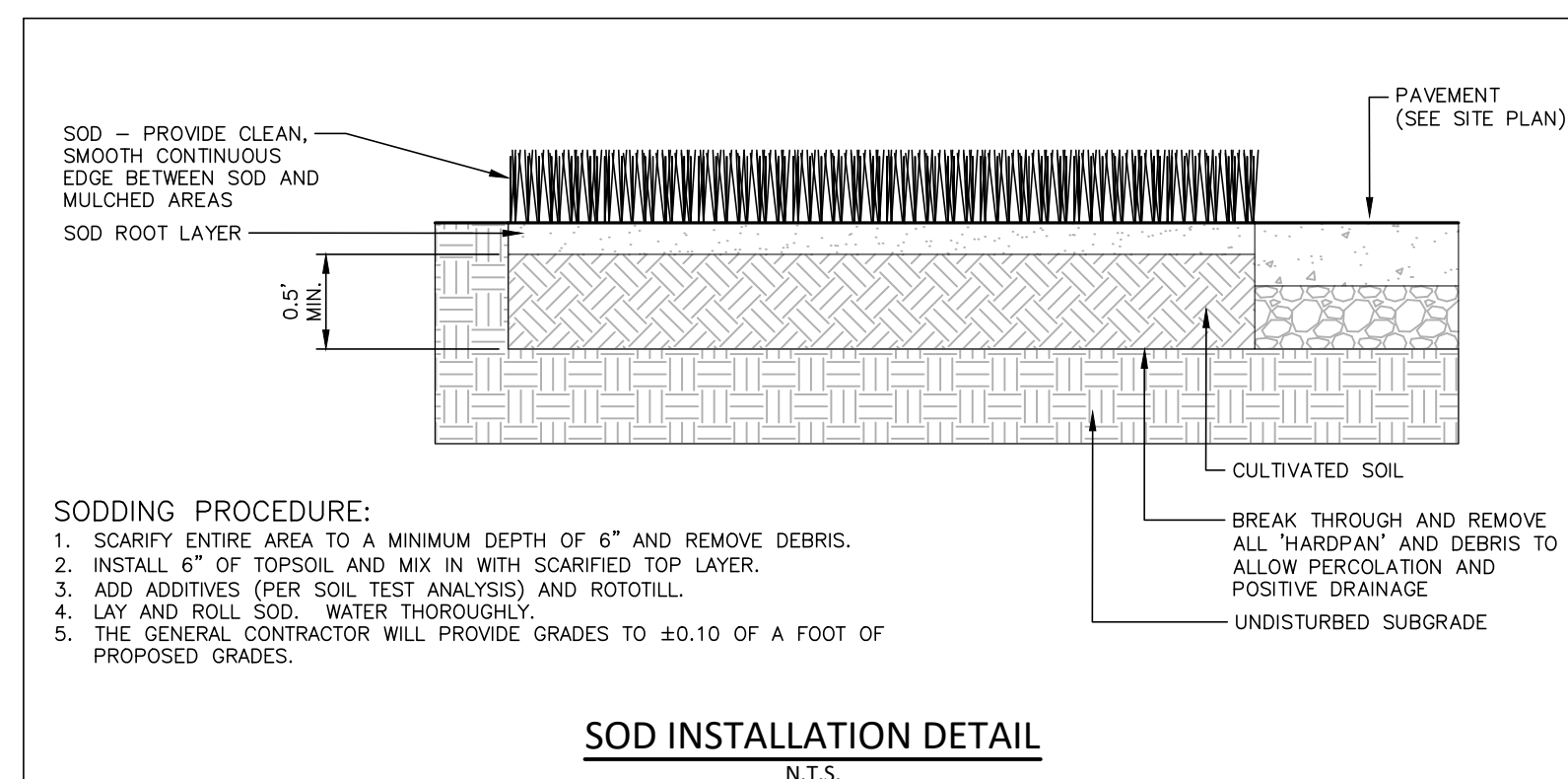
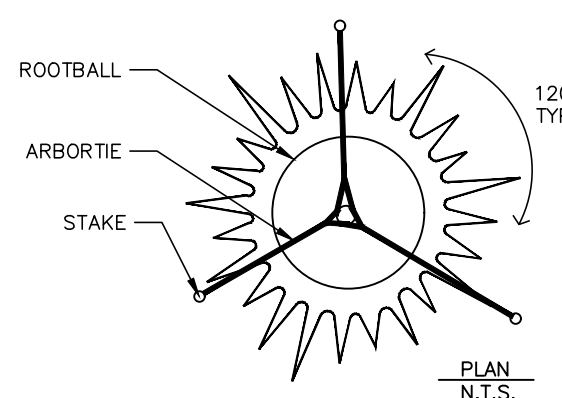
02 SHRUB PLANTING
SCALE: 3/8"=1'-0"

01 TREE PLANTING
SCALE: 3/8"=1'-0"



NOTES:

- EVERGREEN TREES 2" CAL. OR SMALLER TO BE STAKED.
- STAKING BASIS OF DESIGN PRODUCT: ARBORITIE OR APPROVED EQUAL.
- STAKING TO BE REMOVED AFTER 2 GROWING SEASONS PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WATER CRYSTALS PER MANUFACTURER'S RECOMMENDATIONS FOR PINE TREES.



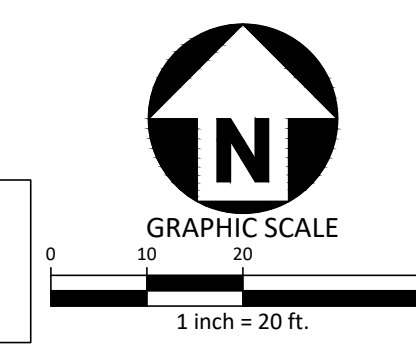
SODDING PROCEDURE:

- SCARIFY ENTIRE AREA TO A MINIMUM DEPTH OF 6" AND REMOVE DEBRIS.
- INSTALL 6" OF TOPSOIL AND MIX IN WITH SCARIFIED TOP LAYER.
- ADD ADDITIVES (PER SOIL TEST ANALYSIS) AND ROTOTILL.
- LAY AND ROLL SOD. WATER THOROUGHLY.
- THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO ±0.10 OF A FOOT OF PROPOSED GRADES.

03 EVERGREEN TREE PLANTING DETAIL
SCALE: 3/8"=1'-0"

TOWN OF MORRISVILLE PROJECT # COMBO-23-0063

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MORRISVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. LAB23003
 FILENAME LAB23003L.D1
 CHECKED BY RTW
 DRAWN BY MJD
 SCALE NTS
 DATE 07.23.2024

LANDSCAPE DETAILS

L5.01

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