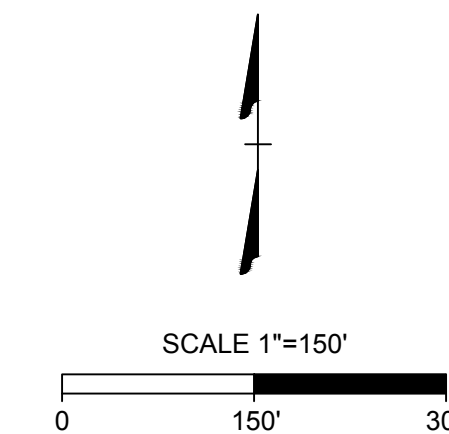


# BID DOCUMENTS FOR: ESTES HILLS ELEMENTARY SCHOOL ADA IMPROVEMENTS

**CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA  
PIN: 9789655711**



**VICINITY MAP**



**CIVIL ENGINEER:**  
TIMMONS GROUP  
5410 TRINITY ROAD, STE. 102  
RALEIGH, NC 27607  
BLAKE HALL, PLA, PE  
(919) 866-4933  
blake.hall@timmons.com

**OWNER:**  
CHAPEL HILL CARRBORO SCHOOLS  
750 SOUTH METTITT MILL RD  
CHAPEL HILL, NC 27516  
ANDRE STEWART  
(919-967-8211)  
adstewart@chccs.k12.nc.us

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITION & DEMOLITION PLAN
C2.0	SITE LAYOUT AND GRADING PLAN
C3.0	NOTES & DETAILS
C3.1	NOTES & DETAILS

SITE DATA TABLE	
PROJECT NAME:	ESTES HILLS ELEMENTARY SCHOOL
PHYSICAL ADDRESS:	500 NORTH ESTES DRIVE, CHAPEL HILL, 27514
TOWNSHIP:	CHAPEL HILL
PROPERTY ZONING:	R-1
EXISTING USE:	INSTITUTIONAL
PROPOSED USE:	INSTITUTIONAL
TOTAL AREA:	32.85 ACRES
DISTURBED AREA:	11,873 SQ-FT (0.27 AC)
RIVER BASIN:	CAPE FEAR
SURFACE WATER CLASSIFICATION:	NSW
WATERSHED:	HAW



**KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.**



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REVISION DESCRIPTION

DATE	REVISION DESCRIPTION
6/1/2023	

DATE

DRAWN BY

DESIGNED BY

CHECKED BY

SCALE

AS SHOWN

**TIMMONS GROUP**

ESTES HILLS ELEMENTARY SCHOOL ADA IMPROVEMENTS  
CHAPEL HILL, NC

COVER SHEET

JOB NO.  
**55668**

SHEET NO.  
**C0.0**

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6/1/2023  
DRAWN BY  
S. FANTAYE  
DESIGNED BY  
S. FANTAYE  
CHECKED BY  
B. HALL  
SCALE  
AS SHOWN

**TIMMONS GROUP**  
ESTES HILLS ELEMENTARY SCHOOL ADA IMPROVEMENTS  
CHAPEL HILL, NC  
EXISTING CONDITIONS & DEMOLITION PLAN

JOB NO.  
55668  
SHEET NO.  
C-1.0

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TEMPORARY SEEDING SCHEDULE

TYPE	PLANTING RATE
3-WAY TALL FESCUE BLEND AND WINTER RYE (GRAIN)	125 LBS/ACRE
	25 LBS/ACRE
3-WAY TALL FESCUE BLEND AND GERMAN MILLET ***	120 LBS/ACRE
OR SUDANGRASS (SMALL-STEMMED VAR.) ***	25 LBS/ACRE
	30 LBS/ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\* TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.

PERMANENT STABILIZATION SCHEDULE - SOD

TURF TYPE TALL FESCUE, BLEND, BLUE TAG CERTIFIED SOD ONLY. (NO KENTUCKY 31 IS ALLOWED.)

REFER TO SOD DETAIL ON SHEET C3.0 FOR INSTALLATION.

\*\* WHEN INSTALL OF SOD MUST TAKE PLACE OUT-OF- SEASON FOR PERMANENT GRASS. APPROPRIATE TEMPORARY SEEDING SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMANENT SOD AS SPECIFIED IN SEASON AT NO ADDITIONAL COST TO OWNER.

LAWN MAINTENANCE NOTES:

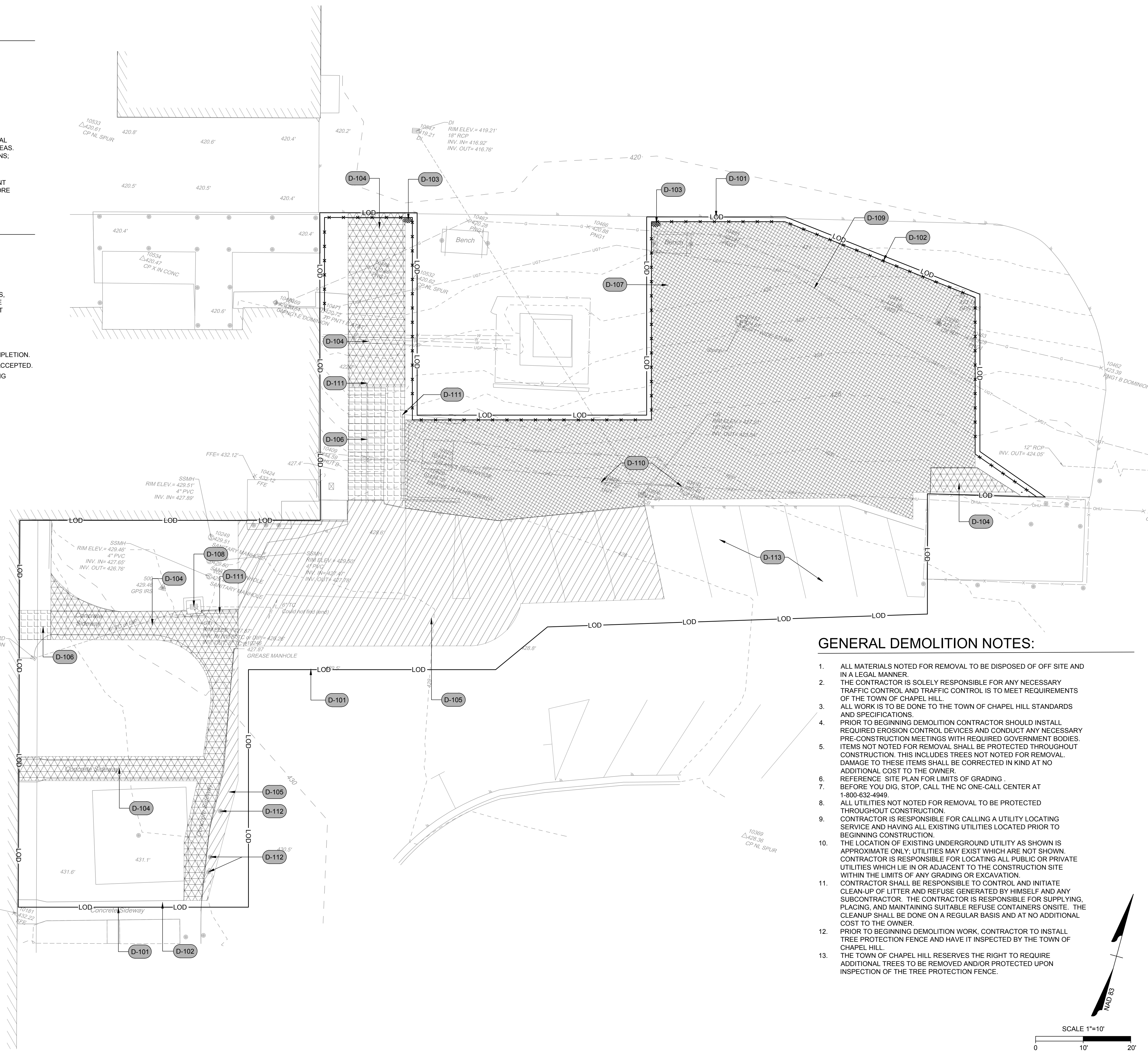
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE UNTIL FINAL COMPLETION.
- LAWN MUST BE AT 95% COVERAGE AT SUBSTANTIAL COMPLETION REVIEW TO BE ACCEPTED.
- IF NOT AT 95%, SUBSTANTIAL COMPLETION WILL BE DELAYED UNTIL THE FOLLOWING GROWING SEASON.

DEMOLITION SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
D-101	LIMIT OF DISTURBANCE	
D-102	SILT FENCE	5/C3.0-NTDT
D-103	SILT FENCE OUTLET (TYP.)	6/C3.0-NTDT
D-104	REMOVE EXISTING CONCRETE PAVEMENT TO EXTENTS SHOWN	
D-105	REMOVE ALL PAVEMENT, INCLUDING SUBBASE TO LIMITS SHOWN	
D-106	REMOVE EXISTING STAIRS AND LANDING TO EXTENTS SHOWN	
D-107	CLEAR AND GRUB VEGETATION AS NEEDED WITHIN THE LIMITS TO BUILD WALKWAY.	
D-108	PROTECT EXISTING STORM DRAINAGE STRUCTURE.	
D-109	RELOCATE UNDERGROUND COMMUNICATION LINE	
D-110	PROTECT EXISTING LIGHT POLE AND GUY WIRE	
D-111	EXISTING HANDRAIL TO BE REMOVED	
D-112	EXISTING BALLARDS TO BE REMOVED	
D-113	CONSTRUCTION STAGING AREA	

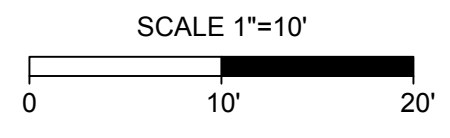
HATCH LEGEND

	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE STAIRS TO BE REMOVED
	CLEAR AND GRUB VEGETATION AS NEEDED

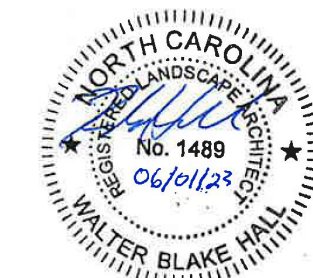


GENERAL DEMOLITION NOTES:

- ALL MATERIALS NOTED FOR REMOVAL TO BE DISPOSED OF OFF SITE AND IN A LEGAL MANNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND TRAFFIC CONTROL IS TO MEET REQUIREMENTS OF THE TOWN OF CHAPEL HILL.
- ALL WORK IS TO BE DONE TO THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- PRIOR TO BEGINNING DEMOLITION CONTRACTOR SHOULD INSTALL REQUIRED EROSION CONTROL DEVICES AND CONDUCT ANY NECESSARY PRE-CONSTRUCTION MEETINGS WITH REQUIRED GOVERNMENT BODIES.
- ITEMS NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES TREES NOT NOTED FOR REMOVAL. DAMAGE TO THESE ITEMS SHALL BE CORRECTED IN KIND AT NO ADDITIONAL COST TO THE OWNER.
- REFERENCE SITE PLAN FOR LIMITS OF GRADING.
- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949.
- ALL UTILITIES NOT NOTED FOR REMOVAL TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CALLING A UTILITY LOCATING SERVICE AND HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITY AS SHOWN IS APPROXIMATE ONLY; UTILITIES MAY EXIST WHICH ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE WITHIN THE LIMITS OF ANY GRADING OR EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL AND INITIATE CLEAN-UP OF LITTER AND REFUSE GENERATED BY HIMSELF AND ANY SUBCONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING, PLACING, AND MAINTAINING SUITABLE REFUSE CONTAINERS ONSITE. THE CLEANUP SHALL BE DONE ON A REGULAR BASIS AND AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO BEGINNING DEMOLITION WORK, CONTRACTOR TO INSTALL TREE PROTECTION FENCE AND HAVE IT INSPECTED BY THE TOWN OF CHAPEL HILL.
- THE TOWN OF CHAPEL HILL RESERVES THE RIGHT TO REQUIRE ADDITIONAL TREES TO BE REMOVED AND/OR PROTECTED UPON INSPECTION OF THE TREE PROTECTION FENCE.







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REVISION DESCRIPTION	DATE
	6/1/2023
	DRAWN BY S. FANTAYE
	DESIGNED BY S. FANTAYE
	CHECKED BY B. HALL
	SCALE AS SHOWN

# TIMMONS GROUP

## ESTES HILLS ELEMENTARY SCHOOL ADA IMPROVEMENTS CHAPEL HILL, NC SITE LAYOUT & GRADING PLAN

JOB NO.  
**55668**  
 SHEET NO.  
**C-2.0**

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**LAYOUT SCHEDULE**

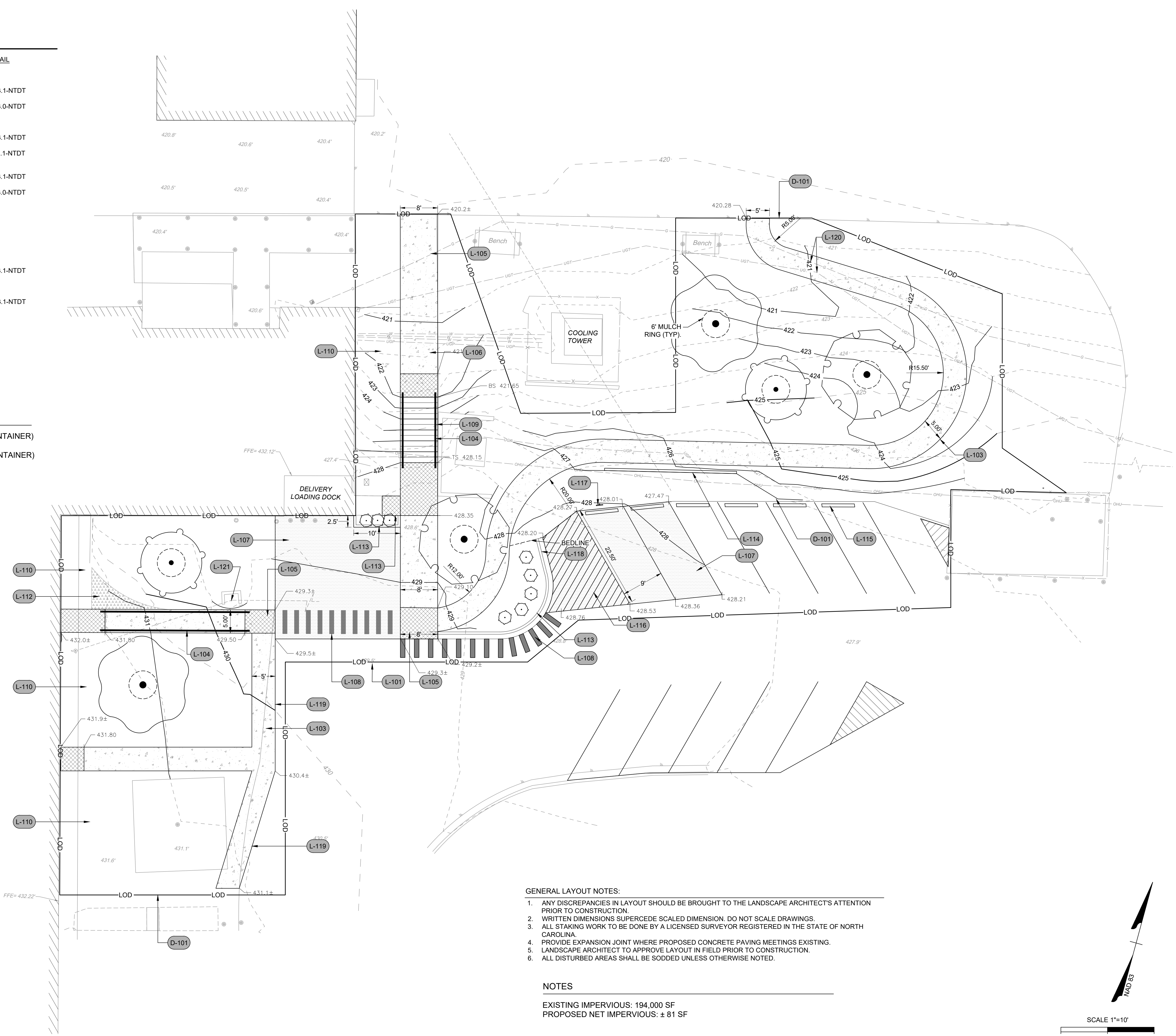
SYMBOL	DESCRIPTION	DETAIL
L-101	EXISTING PAVEMENT TO REMAIN	
L-103	PROPOSED 5' WIDE CONCRETE SIDEWALK (TYP.)	2/C3.1-NTDT
L-104	HANDRAIL (TYP.)	8/C3.0-NTDT
L-105	LANDING (TYP.)	
L-106	PROPOSED 8' WIDE CONCRETE SIDEWALK (TYP.)	2/C3.1-NTDT
L-107	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYP.)	1/C3.1-NTDT
L-108	HIGH VISIBILITY CROSSWALK MARKING (TYP.)	6/C3.1-NTDT
L-109	CONCRETE STEPS (TYP.)	7/C3.0-NTDT
L-110	AREA TO BE SODDED (TYP.)	
L-112	BACKFILL WITH SOIL, FLUSH W/ TOP OF OLD WALK	
L-113	PLANT BED, 6' WIDE CONCRETE CURB (TYP.)	
L-114	RETAINING WALL	
L-115	CONCRETE WHEEL STOP	3/C3.1-NTDT
L-116	VAN ACCESSIBLE AISLE	
L-117	ACCESSIBLE PARKING SIGN	4/C3.1-NTDT
L-118	TAPER CURB TO FLUSH	
L-119	POUR SIDEWALK FLUSH WITH ASPHALT	
L-120	VERIFY DEPTH OF EXISTING UGT AND GAS LINES PRIOR TO CONSTRUCTION	
L-121	RAISE EXISTING INLET AND MAINTAIN POSITIVE DRAINAGE	

**LANDSCAPE MATERIALS:**

- (4) UPPERSTORY TREES (MIN. @ 2" CAL., 8' HT. MIN, B&B OR CONTAINER)  
ACER RUBRUM & QUERCUS ALBA
- (2) UNDERSTORY TREES (MIN. @ 2" CAL., 8' HT. MIN, B&B OR CONTAINER)  
CERCIS CANADENSIS
- (8) EVERGREEN SHRUBS (MIN. @ 24" HT./SPREAD, CONTAINER)  
ILEX GLABRA

**HATCH LEGEND**

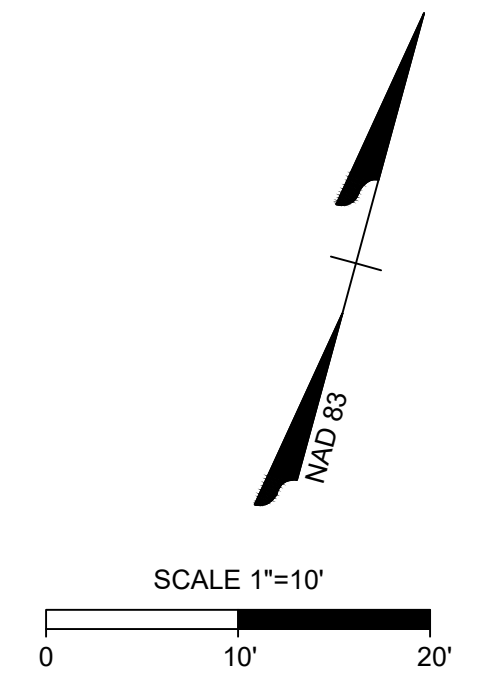
	CONCRETE PAVEMENT
	LANDING
	ASPHALT PAVEMENT
	NO PARKING



- GENERAL LAYOUT NOTES:**
- ANY DISCREPANCIES IN LAYOUT SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
  - WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSION. DO NOT SCALE DRAWINGS.
  - ALL STAKING WORK TO BE DONE BY A LICENSED SURVEYOR REGISTERED IN THE STATE OF NORTH CAROLINA.
  - PROVIDE EXPANSION JOINT WHERE PROPOSED CONCRETE PAVING MEETINGS EXISTING.
  - LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN FIELD PRIOR TO CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.

**NOTES**

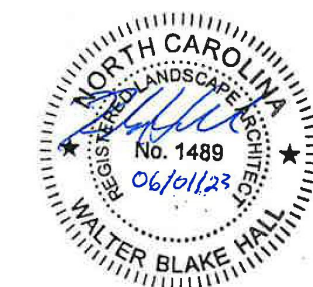
EXISTING IMPERVIOUS: 194,000 SF  
 PROPOSED NET IMPERVIOUS: ± 81 SF











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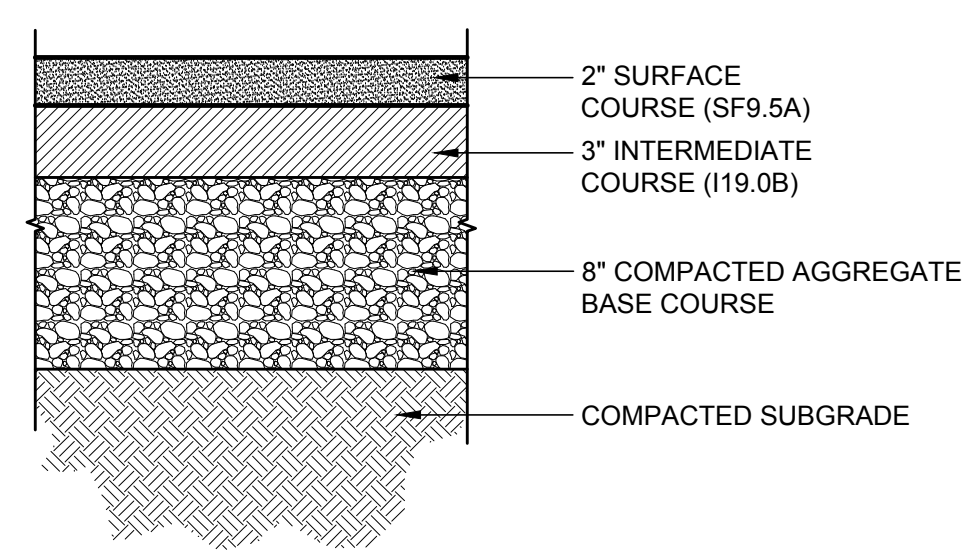
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 DRAWN BY  
S. FANTAYE  
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S. FANTAYE  
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B. HALL  
 SCALE  
AS SHOWN

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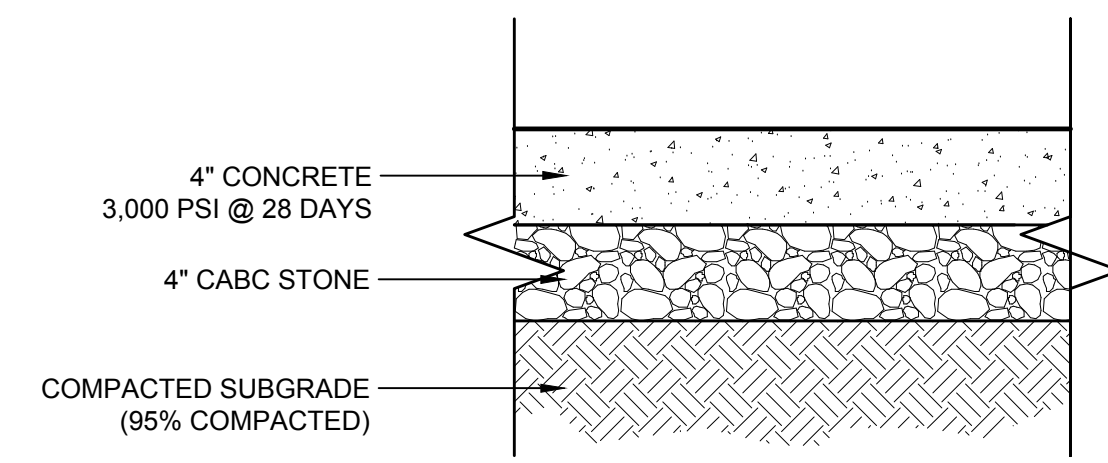
ESTES HILLS ELEMENTARY SCHOOL ADA IMPROVEMENTS  
 CHAPEL HILL, NC  
**SITE DETAILS**

JOB NO.  
55668  
 SHEET NO.  
C3.1

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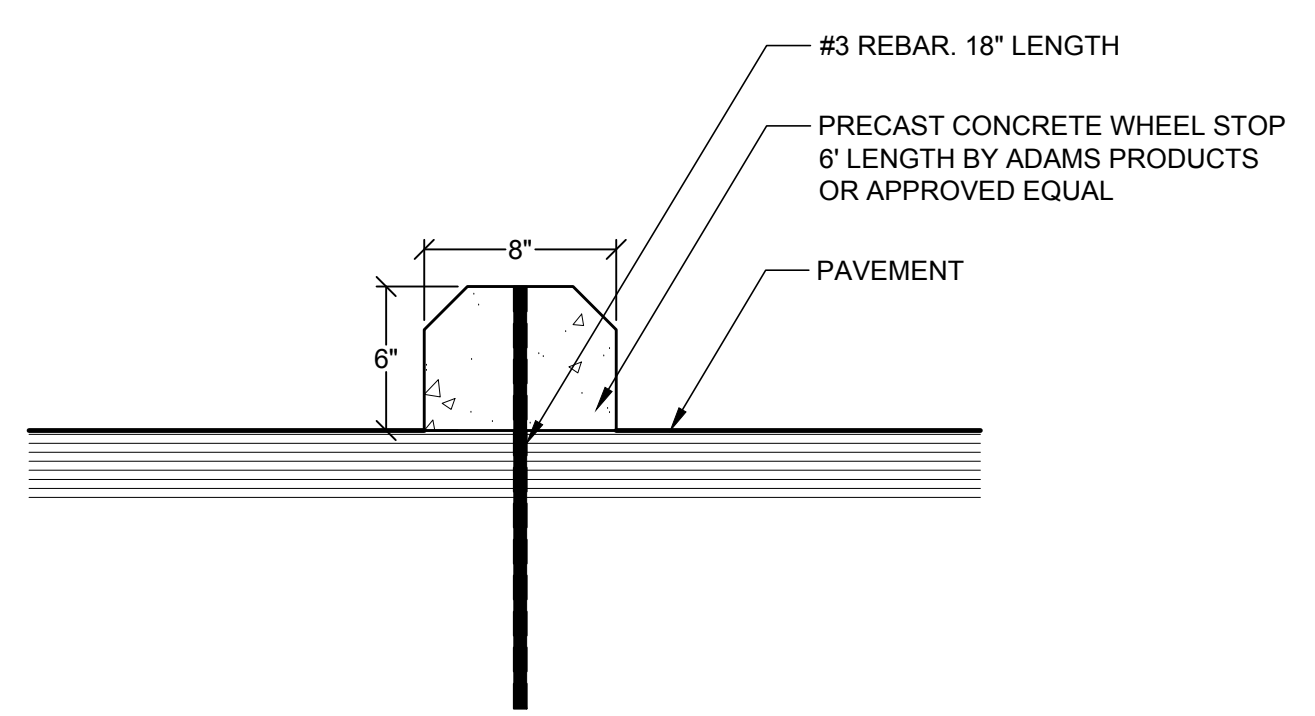


**1 ASPHALT PAVING (HEAVY DUTY)**  
 NTS

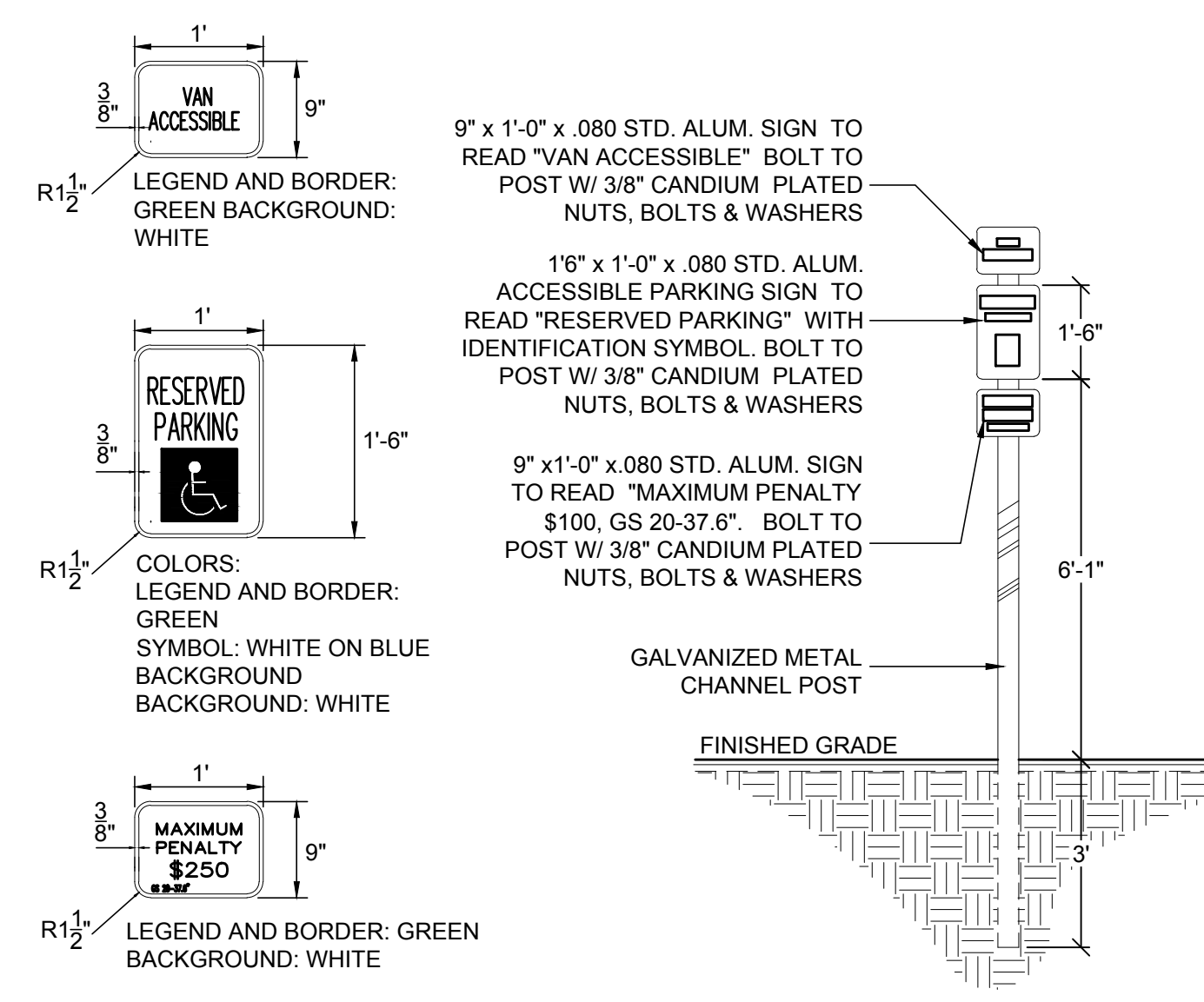


NOTES:  
 1) Cross slope as shown on grading plan.  
 2) Expansion joints every 30' or as shown on the plans.  
 3) Control joints every 5' or as shown on the layout plans  
 4) Broom Finish

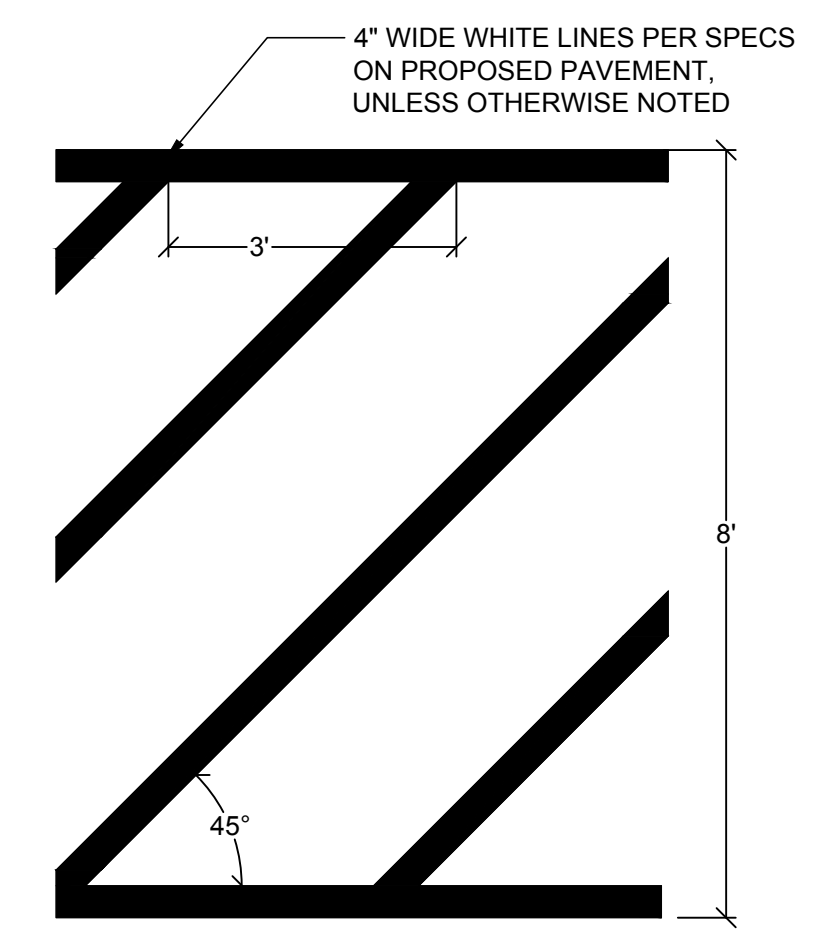
**2 CONCRETE PAVING ON STONE (STANDARD DUTY)**  
 1 1/2" = 1'-0"



**3 CONCRETE WHEEL STOP**  
 1 1/2" = 1'-0"

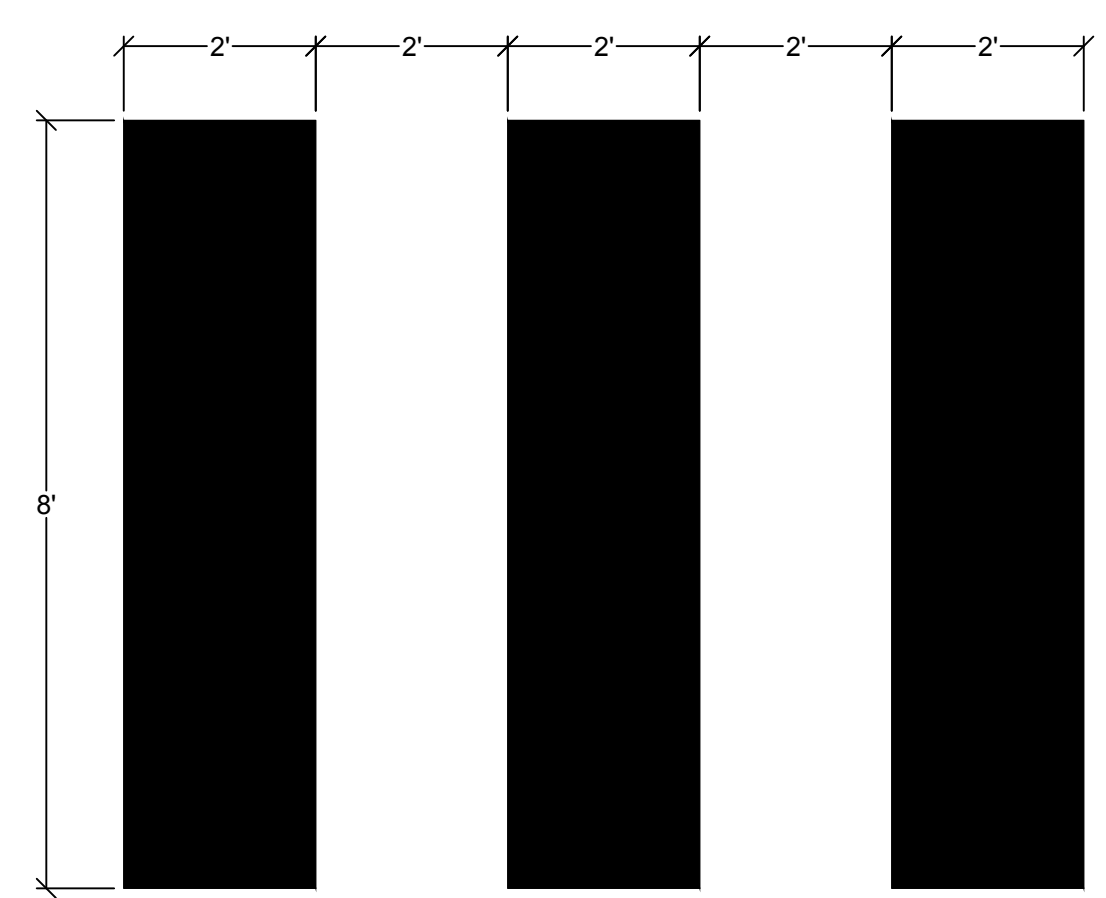


**4 ACCESSIBLE PARKING SIGN - GALVANIZED POST**  
 3/8" = 1'-0"



NOTES:  
 1. Transverse markings are - 4 inches wide / 3ft spacing / 45 deg. angle.  
 2. A) All markings on asphalt pavement are to be pre-formed thermoplastic (installed per manufacturer's recommendations); unless otherwise noted  
 B) All markings on concrete pavement are to be painted (min 2 coats), unless otherwise noted  
 3. All markings to conform to mutcd guidelines and/or ncdot standards

**5 PAVEMENT MARKINGS**  
 1/2" = 1'-0"



NOTES:  
 1. ALIGN TOP AND BOTTOM WITH BACK OF CURB.  
 2. PAINT CROSSWALK WITH 2 COATS OF REFLECTIVE WHITE PAINT.

**6 HIGH VISIBILITY CROSSWALK**  
 1/2" = 1'-0"